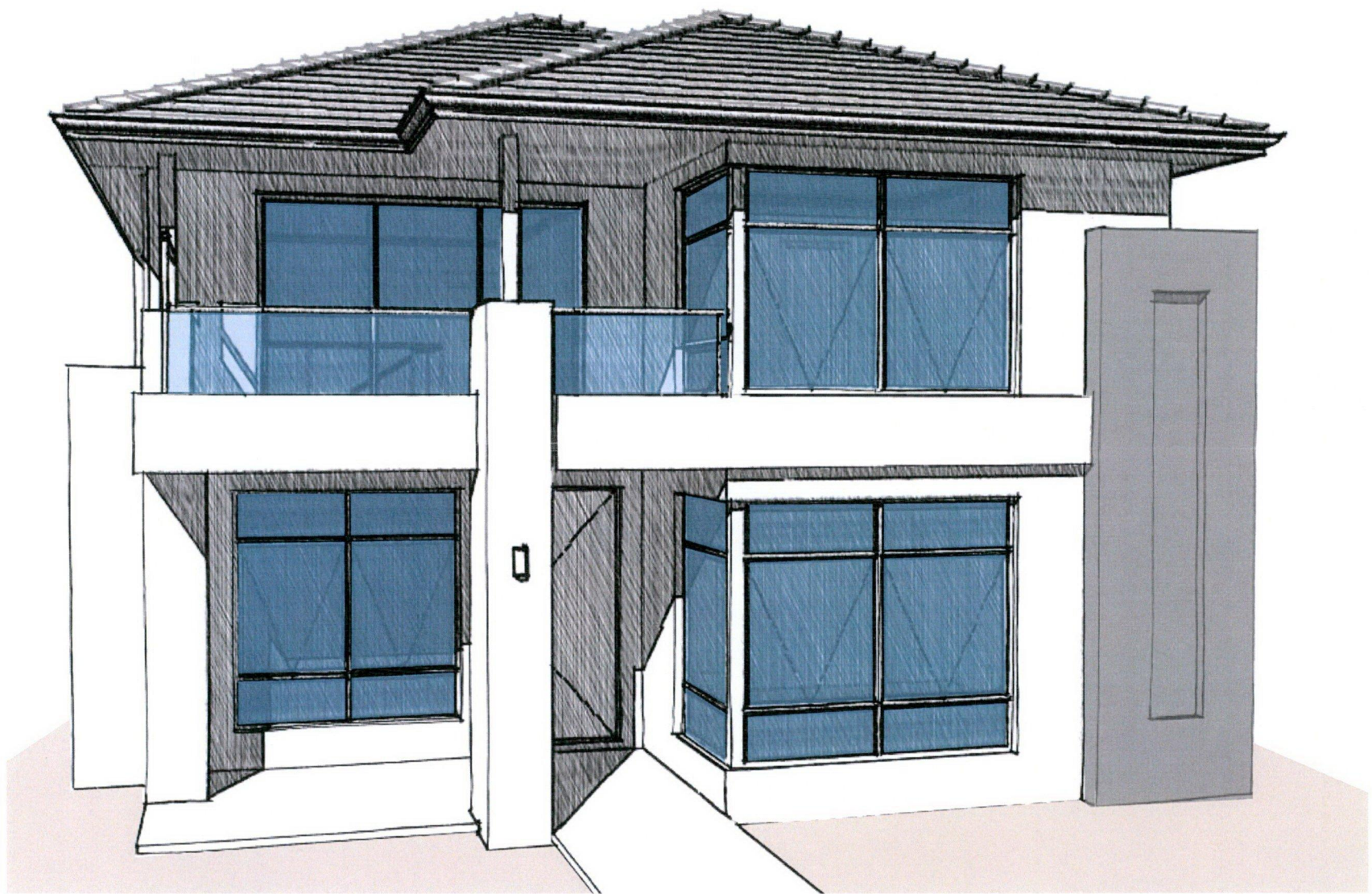
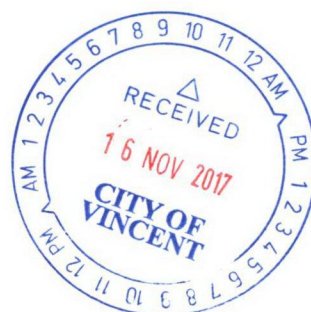


STOPPANI RESIDENCE



ILLUSTRATIONS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY. THESE ILLUSTRATIONS MAY DEPICT FEATURES NOT INCLUDED IN SPECIFICATION INCLUDING, BUT NOT LIMITED TO, GARDEN FEATURES, LANDSCAPING, PLANTER BOXES, RETAINING WALLS, EXPOSED WASHED AGGREGATE CONCRETE, DESIGNER GARAGE DOORS, FEATURE CLADDING, GATES, FENCING, LETTERBOXES AND DECORATOR ITEMS.




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CREATIVE LIFESTYLE SOLUTIONS

32 Mumford Place, Balcatta, W.A. (08) 9240 1969
Builders Registration Number: 8967

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SEC Dome
Power Pole
Phone Pits
Water Conn.
Top Pillar/Post
Top Wall
Top Retaining
Top Fence

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment and are to be verified when repegged. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

LOT MISCLOSE
0.000 m

SOIL DESCRIPTION
Sand
Refer to Survey

Average street
setback 7.58m

90.4sqm
overshadowing
= 19%

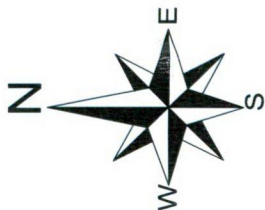
OPEN SPACE
CALCULATIONS

R-ZONE: R30

BUILDING AREA: 212.74m²
SITE AREA: 470.46m²

212.74m² / 470.46m²

SITE COVERAGE = 45.22%
OPEN SPACE = 54.78%



Scale 1:200

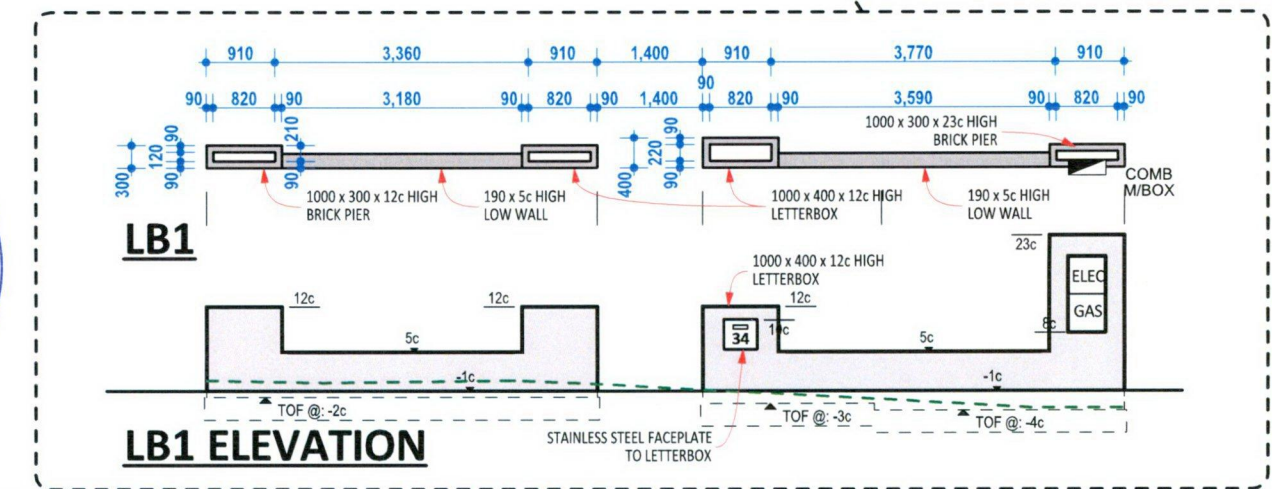


JOB No:	SHEET:	REVISION:	DRAWN:
825	1 of 12	-	NP

PRELIMINARY DRAWINGS

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Builders Registration Number: 8967



AREAS

GROUND	167.20
GARAGE	45.30
ALFRESCO	25.79
PORCH	9.02
	247.31 m ²

STAIRS

250 GOING
171 RISER

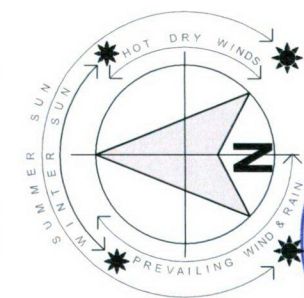
RENDERED
BRICKWORK

CLIENT NOTE

REFER TO ADDENDA FOR SUPPLY AND
INSTALLATION OF ALL FLOOR COVERINGS

BRICKLAYER NOTE:

ALL GROUND FLOOR INTERNAL DOORS &
FRAMES TO BE 2340 HIGH (U.N.O)



SHEET:

2 OF 12

JOB No:

825

HOUSE TYPE:

INDIVIDUAL

PROJECT:

STOPPANI RESIDENCE
LOT 157 (No.34) MATLOCK STREET
MOUNT HAWTHORN

DRAWING:

GROUND FLOOR PLAN

PRELIMINARY DRAWINGS

1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.
2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.

SCALE:

1:100

DRAWN BY:

NP

PRESTAY BY:

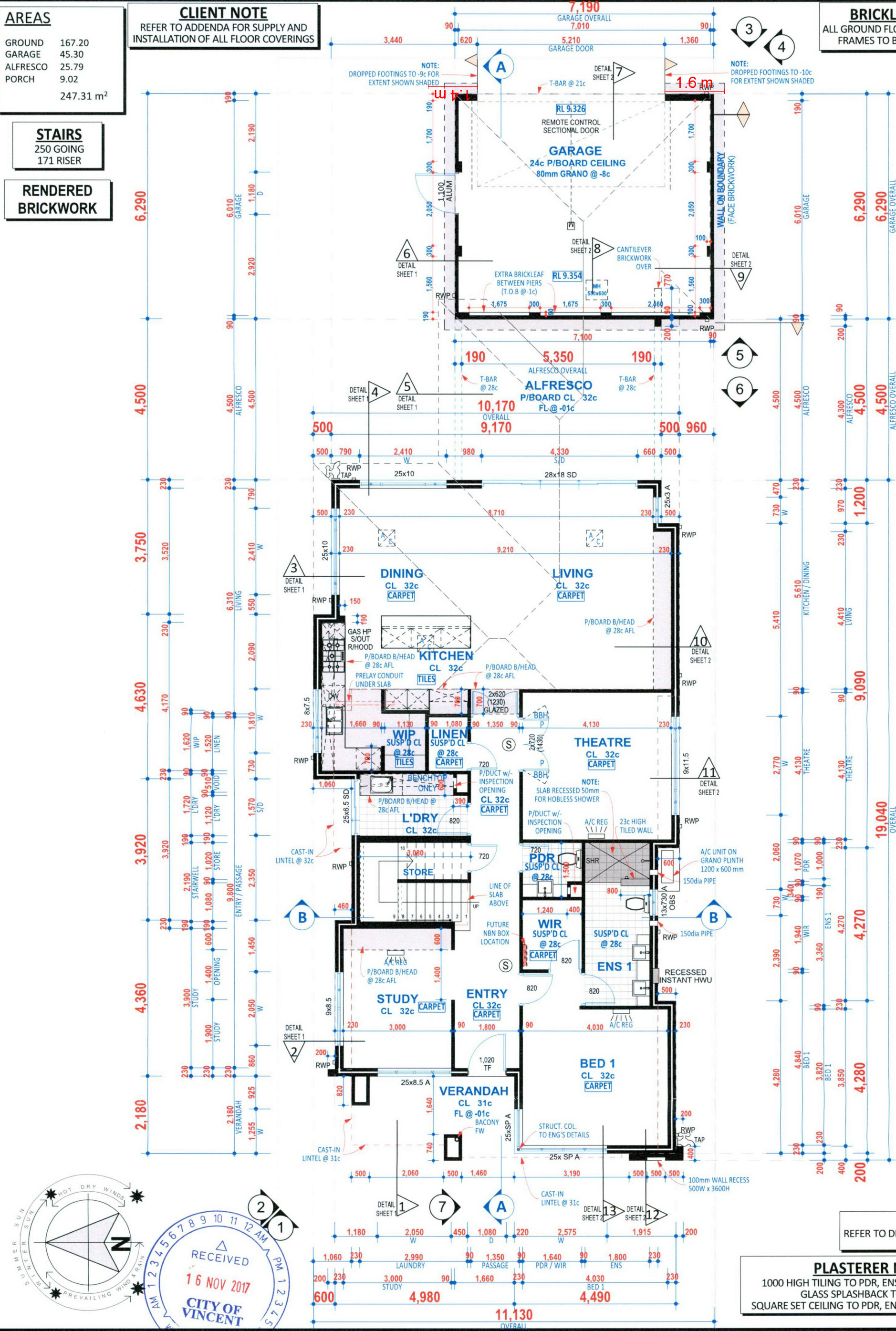
??

DATE:

12/10/2017

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32 Mumford Place, Balcatta. W.A (08) 9240 1969
Builders Registration Number: 8967



NOTE
REFER TO DETAIL SHEET FOR EAVES
DETAILS

PLASTERER NOTE

1000 HIGH TILING TO PDR, ENSUITE 1 & LAUNDRY
GLASS SPLASHBACK TO KITCHEN
SQUARE SET CEILING TO PDR, ENSUITE 1, WIR & LINEN

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AREAS	
UPPER	97.38
BALCONY	9.80
STAIRS	6.65
	113.83 m ²

RENDERED
BRICKWORK

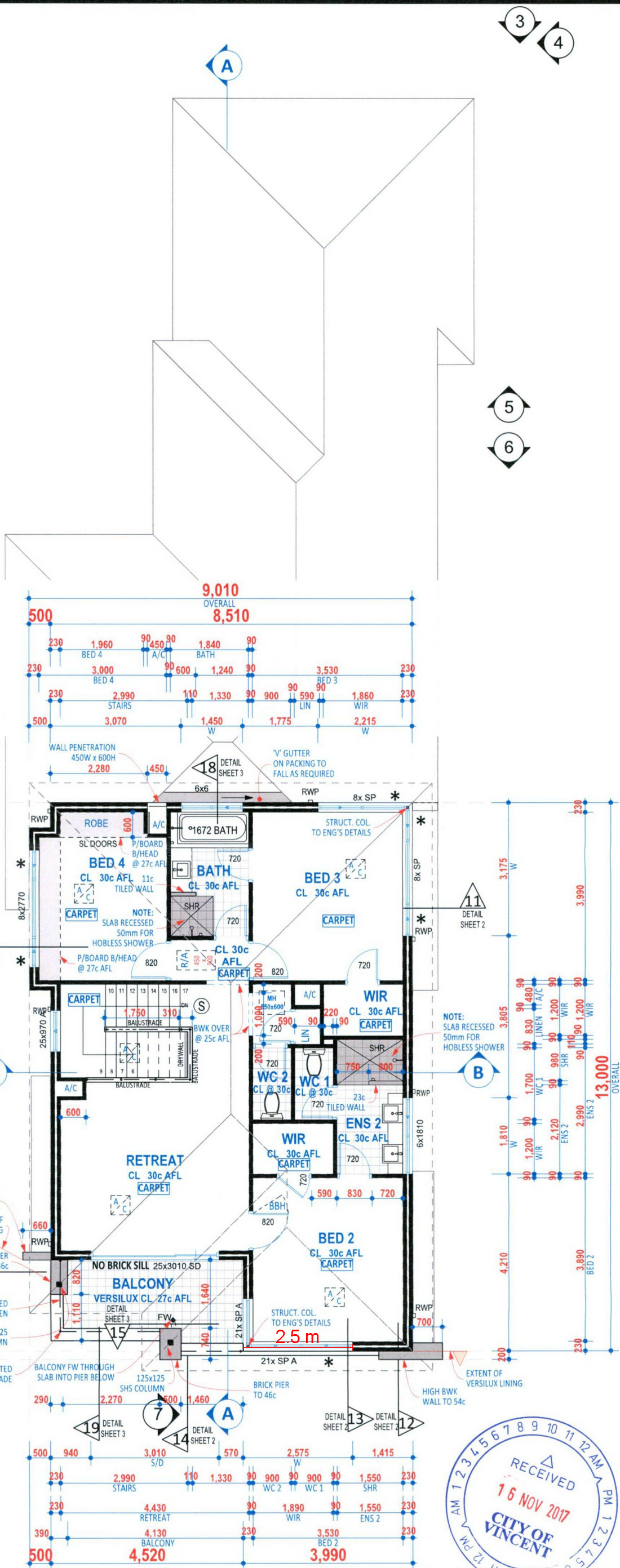
STAIRS

250 GOING

171 RISER

NOTE

* - NOMINATED WINDOWS TO COMPLY WITH B.C.A VOL.2, PART 3.9.2.5. PORTION OF OPENING WINDOW RESTRICTED TO 125mm MAX.



- BALUSTRADE NOTE:

BALUSTRADE HEIGHT ABOVE F.F.L MUST BE A MINIMUM OF 1000mm

NOTE

REFER TO DETAIL SHEET FOR EAVES DETAILS

CLIENT NOTE

REFER TO ADDENDA FOR SUPPLY AND INSTALLATION OF ALL FLOOR COVERINGS

PLASTERER NOTE

1000 HIGH TILING TO WC 1, WC 2, ENSUITE 2 & BATH

SHEET: 3 OF 12	HOUSE TYPE: INDIVIDUAL	DRAWING: UPPER FLOOR PLAN		SCALE: 1:100
	PROJECT: STOPPANI RESIDENCE LOT 157 (No.34) MATLOCK STREET MOUNT HAWTHORN	PRELIMINARY DRAWINGS		DRAWN BY: NP
	JOB No: 825	1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	REVISION: -	PRESTAY BY: ?? DATE: 12/10/2017

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CREATIVE LIFESTYLE SOLUTIONS

32 Mumford Place, Balcatta. W.A (08) 9240 1969

Builders Registration Number: 8967

ROOFING NOTE:
ROOF FRAMING TO A.S 1684
CLAY TILED ROOF
26°34' PITCH TO FIRST FLOOR
26°34' TO GROUND FLOOR LOWER FRONT

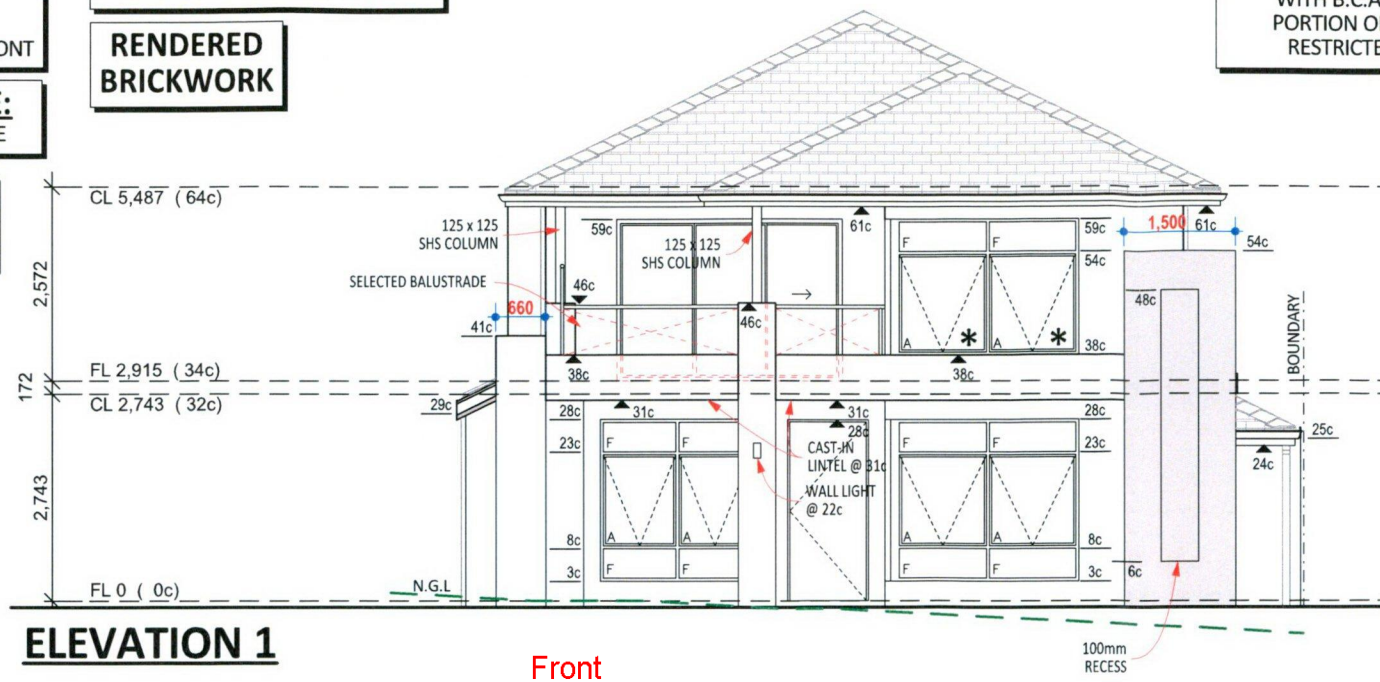
ROOF CARPENTER NOTE:
KEEP ALL FLUMES TO REAR OF RIDGE

- CONTRASTING COLOUR

BALUSTRADE NOTE:
BALUSTRADE HEIGHT ABOVE F.F.L
MUST BE A MINIMUM OF 1000mm

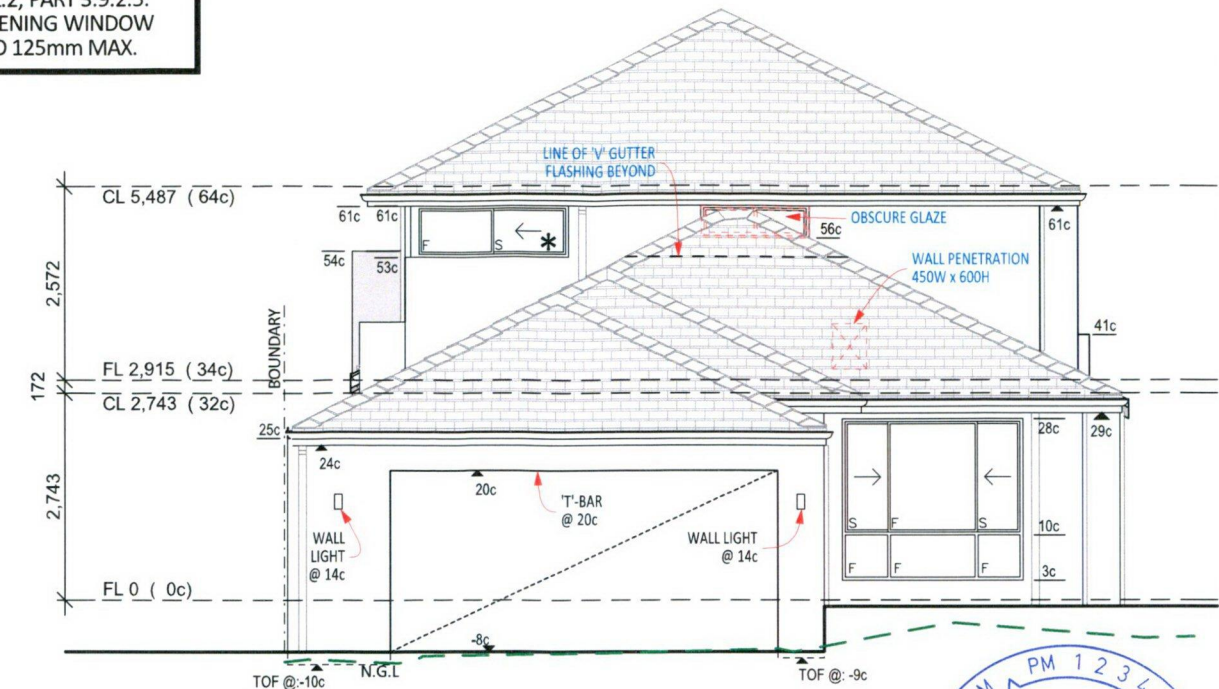
**RENDERED
BRICKWORK**

NOTE
* - NOMINATED WINDOWS TO COMPLY
WITH B.C.A VOL.2, PART 3.9.2.5.
PORTION OF OPENING WINDOW
RESTRICTED TO 125mm MAX.



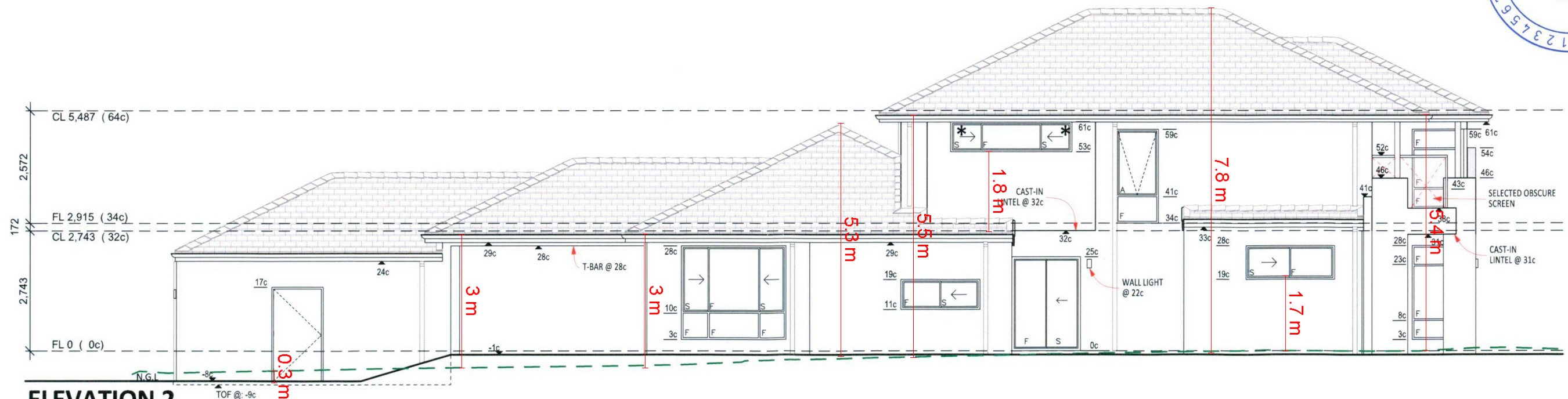
ELEVATION 1

Front



ELEVATION 3

Rear



ELEVATION 2

North

SHEET: 4 OF 12	HOUSE TYPE: INDIVIDUAL PROJECT: STOPPANI RESIDENCE LOT 157 (No.34) MATLOCK STREET MOUNT HAWTHORN	DRAWING: ELEVATIONS PRELIMINARY DRAWINGS	SCALE: 1:100 DRAWN BY: NP	 32 Mumford Place, Balcatta. W.A (08) 9240 1969 Builders Registration Number: 8967
JOB No: 825		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	REVISION: - PRESTART BY: ?? DATE: 12/10/2017	

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ROOFING NOTE:
ROOF FRAMING TO A.S 1684
CLAY TILED ROOF
26°34' PITCH TO FIRST FLOOR
26°34' TO GROUND FLOOR LOWER FRONT

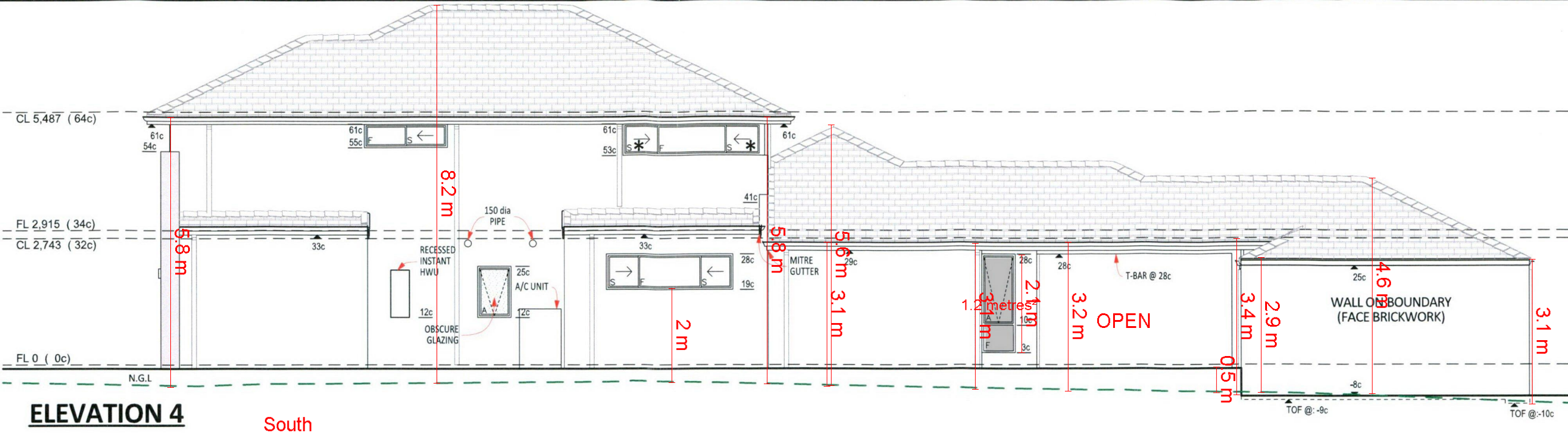
ROOF CARPENTER NOTE:
KEEP ALL FLUMES TO REAR OF RIDGE

BALUSTRADE NOTE:
BALUSTRADE HEIGHT ABOVE F.F.L
MUST BE A MINIMUM OF 1000mm

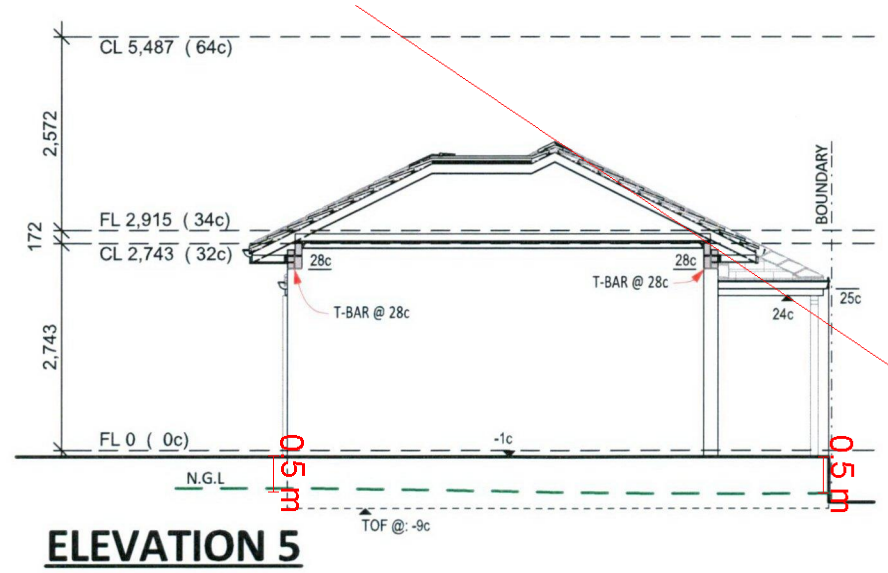
**RENDERED
BRICKWORK**

- CONTRASTING COLOUR

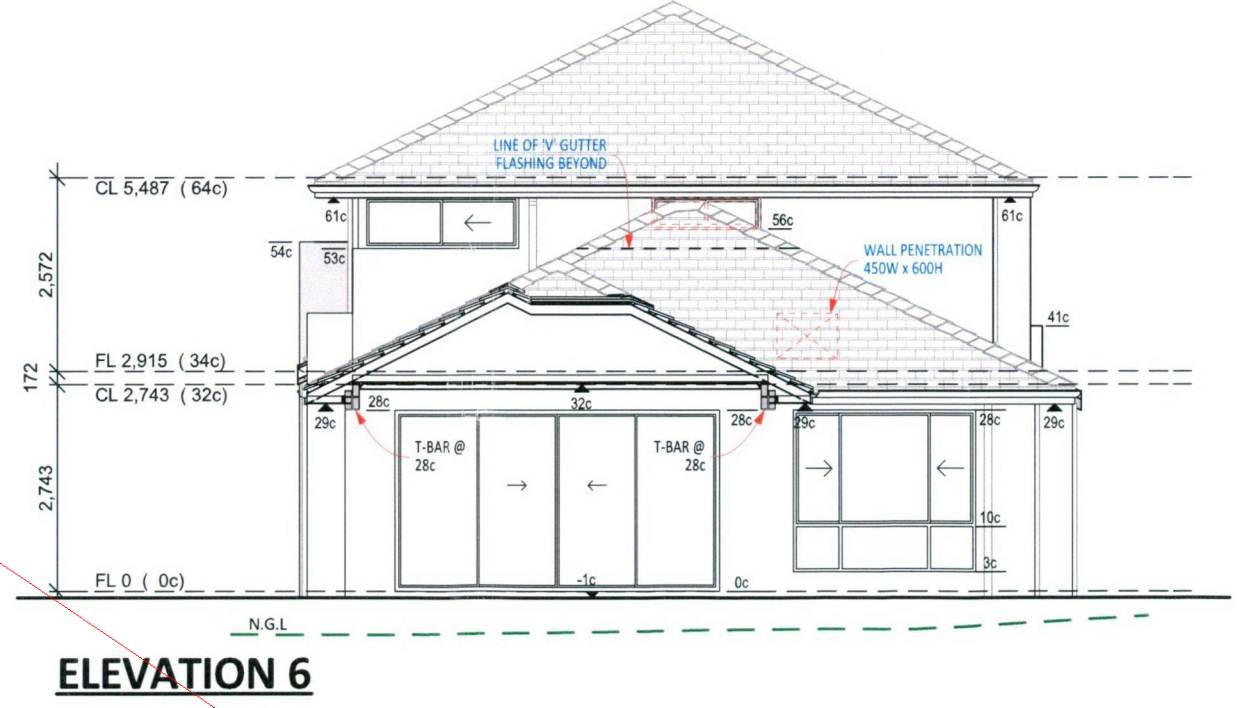
NOTE
* - NOMINATED WINDOWS TO COMPLY
WITH B.C.A VOL.2, PART 3.9.2.5.
PORTION OF OPENING WINDOW
RESTRICTED TO 125mm MAX.



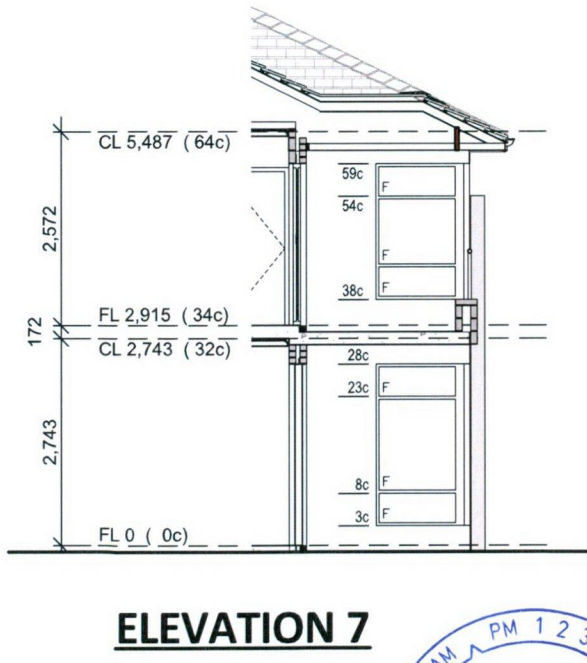
ELEVATION 4 South



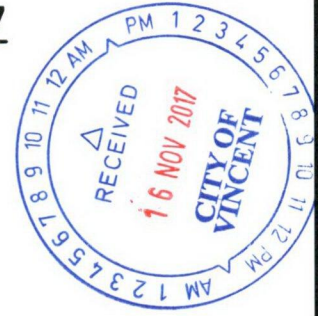
ELEVATION 5



ELEVATION 6



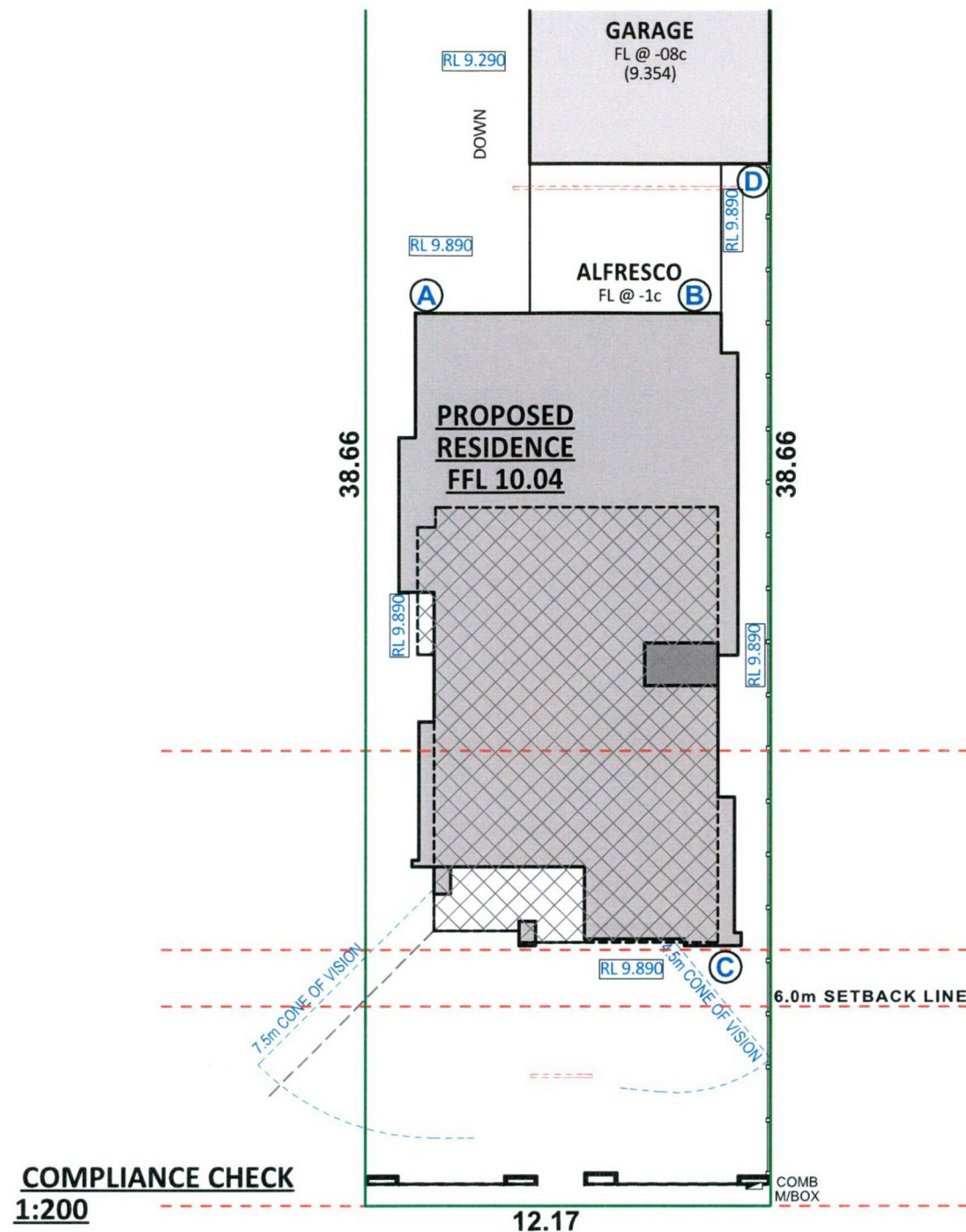
ELEVATION 7



SHEET: 5 OF 12	HOUSE TYPE: INDIVIDUAL	DRAWING: ELEVATIONS	SCALE: 1:100
	PROJECT: STOPPANI RESIDENCE LOT 157 (No.34) MATLOCK STREET MOUNT HAWTHORN	PRELIMINARY DRAWINGS	DRAWN BY: NP
JOB No: 825		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.	REVISION: - PRESTART BY: ?? DATE: 12/10/2017

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32 Mumford Place, Balcatta. W.A (08) 9240 1969
Builders Registration Number: 8967



WALL ON BOUNDARY: (AVERAGE)

POINT 'D': 2.829m
POINT 'E': 2.954m²
= 5.786m² (÷2) = 2.892m²

NOTE: STIRLING ONLY

AVERAGE NGL

A = 9.61
B = 9.50
C = 9.55
D = 9.36
E = 9.15
TOTAL = 47.17
AVERAGE = 9.435

GROUND FLOOR
4m SETBACK AVERAGE

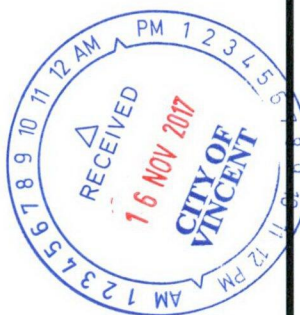
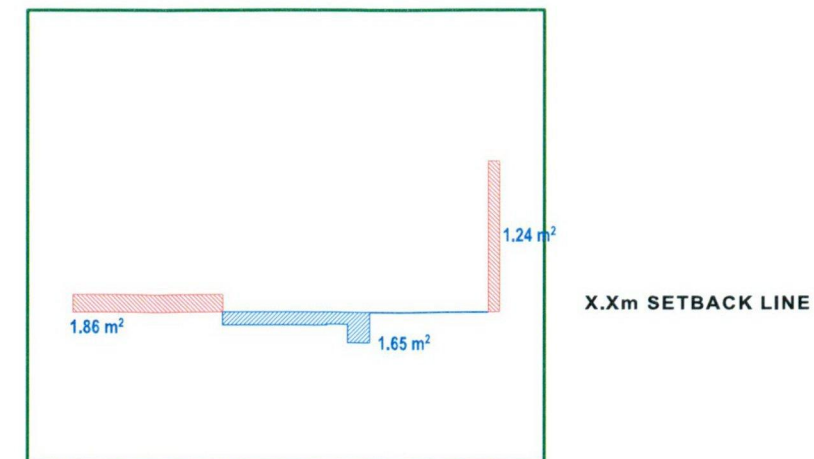
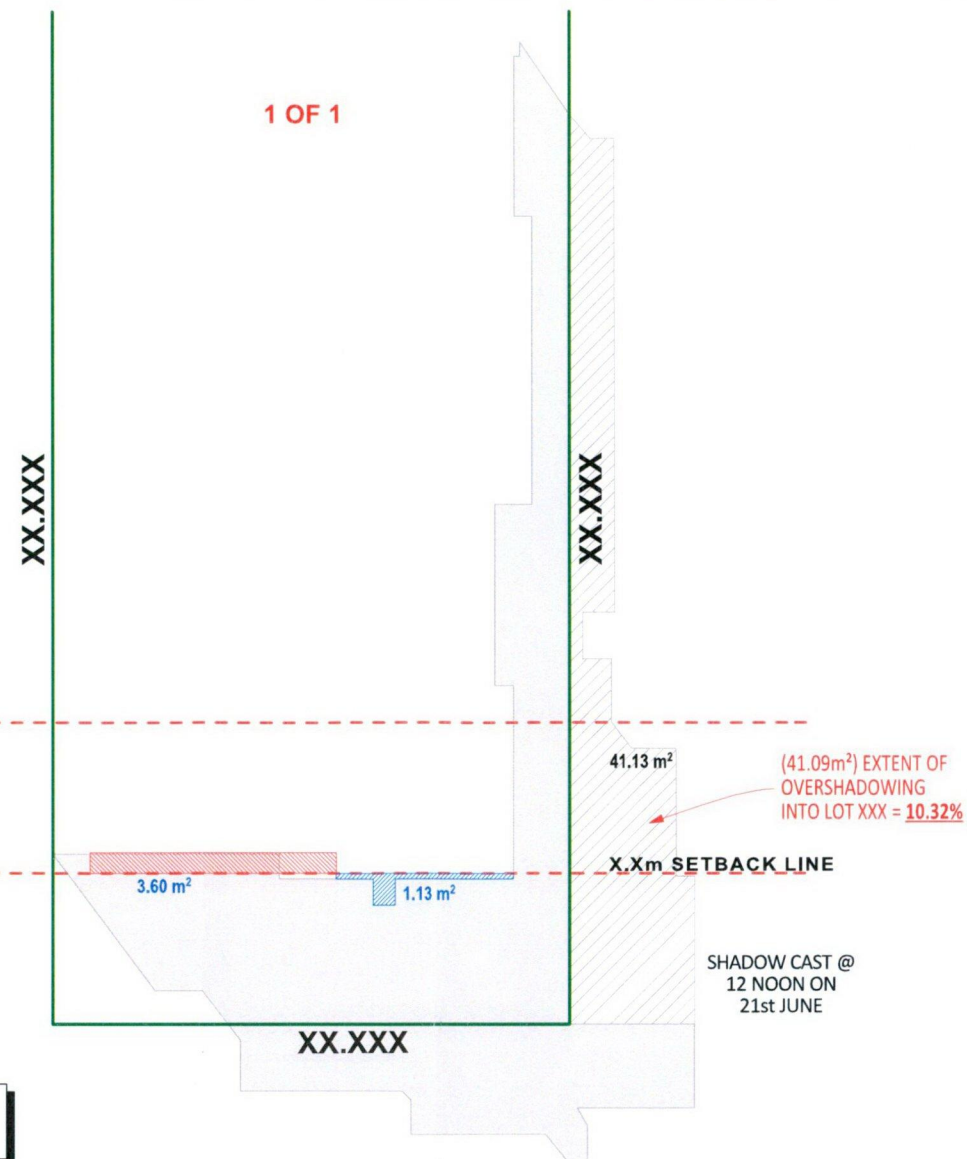
GF INCURSION: X.XXm²
GF COMPENSATION: X.XXm²
+ X.XXm² = X.XXm²

% of PORCH to O/ALL WIDTH: X.XX%

UPPER FLOOR
4m SETBACK AVERAGE

UF INCURSION: X.XXm²
UF COMPENSATION: X.XXm²
+ X.XXm² = X.XXm²

1 OF 1



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SHEET: OF 12	HOUSE TYPE: INDIVIDUAL	DRAWING: COMPLIANCE CHECK	SCALE: 1:1	 novushomes CREATIVE LIFESTYLE SOLUTIONS 32 Mumford Place, Balcatta. W.A (08) 9240 1969 Builders Registration Number: 8967	
	PROJECT: STOPPANI RESIDENCE LOT 157 (No.34) MATLOCK STREET MOUNT HAWTHORN	PRELIMINARY DRAWINGS	DRAWN BY: NP		
JOB No: 825		1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.	REVISION: -		PRESTART BY: ??
		2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.			DATE: 12/10/2017