



RETAINING WALLS

What is a Retaining Wall?

A retaining wall is a structure that retains soil when there is a change in ground levels.

Do I need development approval?

Development approval is **not** required for a retaining wall if it is located on the same lot as a Single House or Grouped Dwelling, and is fully compliant with the deemed-to-comply requirements of the City's Policy No. 7.1.1 – Built Form (Built Form Policy) and State Planning Policy 7.3 - Residential Design Codes (R-Codes).

Development approval **is** required for all retaining walls located on properties subject to heritage protection or within character retention areas. Development approval is also required for a retaining wall that is located on the same lot as a Multiple Dwelling, if it is greater than 0.5m high.

If development approval is required, then a development application is required to be lodged with the City. Where an application does not meet the requirements as set out in the City's Built Form Policy or the R-Codes, written justification detailing how the development satisfies the relevant design principles is required to be submitted with the application. A Planning Officer will consider this variation and whether the application is considered to meet the relevant design principles or objectives of the City's Built Form Policy and/or R-Codes, to determine whether the variation can be considered. Where variations are not deemed appropriate or in line with the design principles, amended plans or reconsideration of the proposal will be required.

What are the deemed-to-comply requirements?

For single houses and grouped dwellings, the deemed-to-comply requirements of the R-Codes – Volume 1 permit a retaining wall that is 0.5m or less in height (measured from natural ground level) to be located up to the lot boundary. A retaining wall greater than 0.5m in height (measured from natural ground level) is required to be setback in accordance with the Tables 2a/2b of the R-Codes – Volume 1. Alternatively, a development application will be required for the City's consideration of the proposal.

For multiple dwellings and all other development, Policy No. 7.5.1 Minor Nature Development permits retaining walls that do not exceed 0.5m in height. Alternatively, a development application will be required for the City's consideration of the proposal.

How long does the development application process take?

The City has 60 days in which to determine the application, or 90 days if the application requires community consultation.

Clause 75(c) of the *Planning and Development (Local Planning Schemes) Regulation 2015* states that applications may take longer than 90 days where it is agreed to in writing between the local government and the applicant.

How long do I have to build my retaining wall?

Development approvals are valid for 2 years. The construction of the retaining wall has to be substantially commenced within this time period.

What information is required for a Development Application?

Please refer to the relevant Development Application Checklist available on the City's website [here](#).

Do I need building approval?

Applying for development approval and a building permit are two separate processes, both controlled under different legislation. A building permit ensures that the retaining wall is structurally safe and complies with the relevant building legislation.



If you would like further information on the Building Permit process and retaining wall requirements please refer to the City's website and the Building retaining wall information guide available [here](#), or contact the City on 9273 6000.

Do you have more questions?

The City is unable to confirm if a proposal will be supported in the absence of a formal development application. However, applicants can discuss planning proposals and preliminary plans with the City's Urban Planners. Urban Planners can provide general advice to applicants on a proposed development or land use and the information required to lodge a complete application.

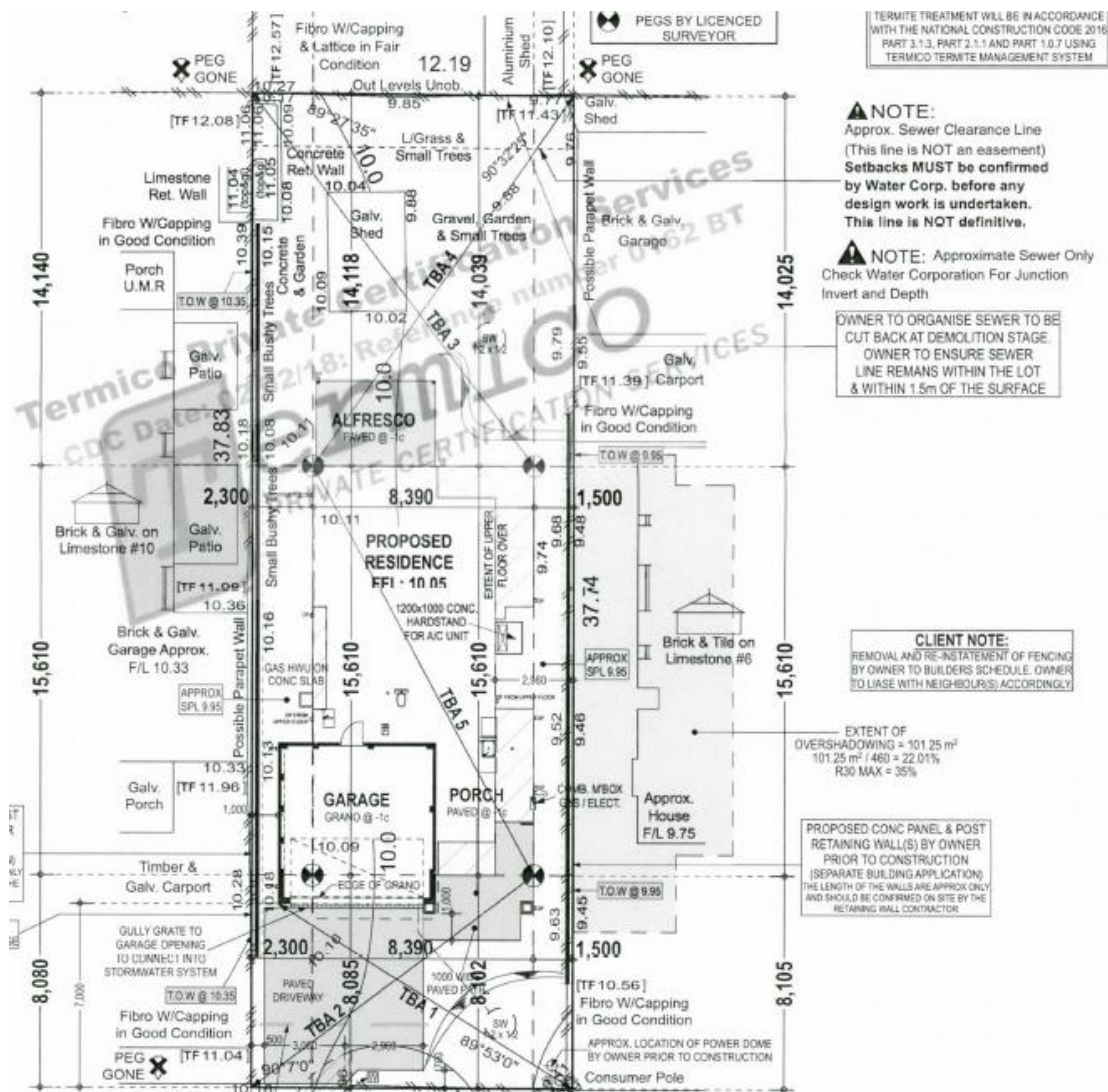
A Duty Planner is available at the City's Administration Office Monday to Friday, 8.30am to 5.00pm, in person or on the phone.

Phone: 9273 6000

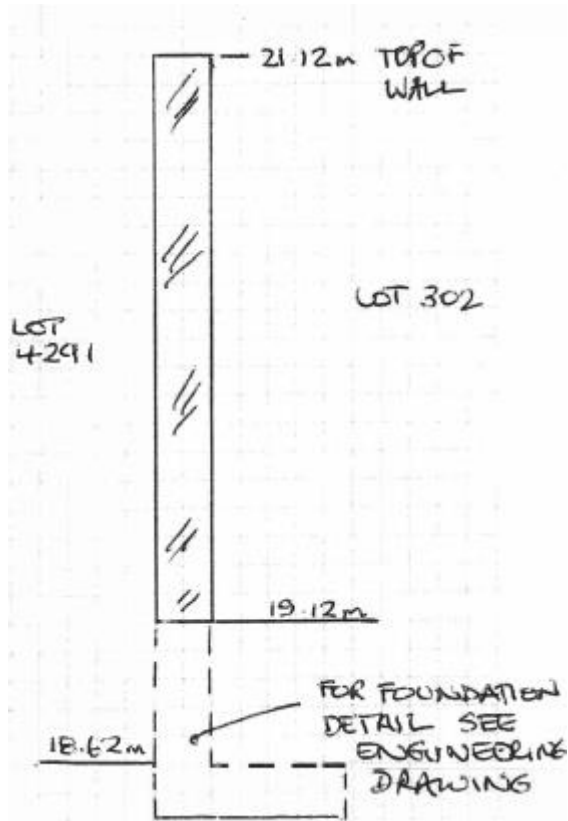
Email: mail@vincent.wa.gov.au

Address: Main Administration Building, 244 Vincent Street, Leederville 6007, WA

SITE PLAN EXAMPLE:



ELEVATION PLAN EXAMPLE:



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