



FRONT FENCES IN RESIDENTIAL AREAS

What is a front fence?

A 'front fence' includes a wall, screen, barrier or the like abutting a street boundary and/or located within the primary street setback area (normally anywhere in front of a dwelling). This includes fencing on the side boundaries within the street setback area.

What sort of front fence can I build without the need to obtain development approval (planning approval)?

The City's Policy No. 7.1.1 Built Form Volume 1 (Built Form Policy) Clause 5.7 outlines that front fences that satisfy the following requirements are permitted and do not require development approval:

- The style and materials of the fence shall be compatible with the dwelling and fences within the immediate surrounding area, excluding fibre cement and metal sheeting;
- The fence has a maximum height of 1.8m above natural ground level;
- Fence piers with a decorative capping can have a maximum height of 2m above natural ground level;
- The fence can have solid portions of wall with a maximum height of 1.2m above the adjacent footpath level. Portions of the fence above 1.2m in height (excluding the piers) must be visually permeable;
- Fence posts and piers shall have a maximum width of 400mm and a maximum diameter of 500mm;
- The distance between piers shall not be less than the height of the piers (except where a pedestrian gate is proposed); and
- Fences taller than 0.75m in height must be located at least 1.5m away from the point where a driveway meets the street boundary with the exception of one pier with a maximum width and depth of 400mm and a maximum height of 1.8m. Any fence slats or infill within the 1.5m area must provide a clear sight line.

If your front fence design does not satisfy all of the requirements above you will need to submit an application for development approval to the City for consideration.

What does a 'clear sight line' mean?

The City's Built Form Policy defines a clear sight line as:

- Continuous horizontal or vertical gaps that constitute a minimum of 50% of the total surface area;
- A minimum gap size of 40mm;
- If slats are orientated to be deeper than they are wide the distance between the slats must be no less than two times the depth of the slat;
- Clear non-reflective glass.

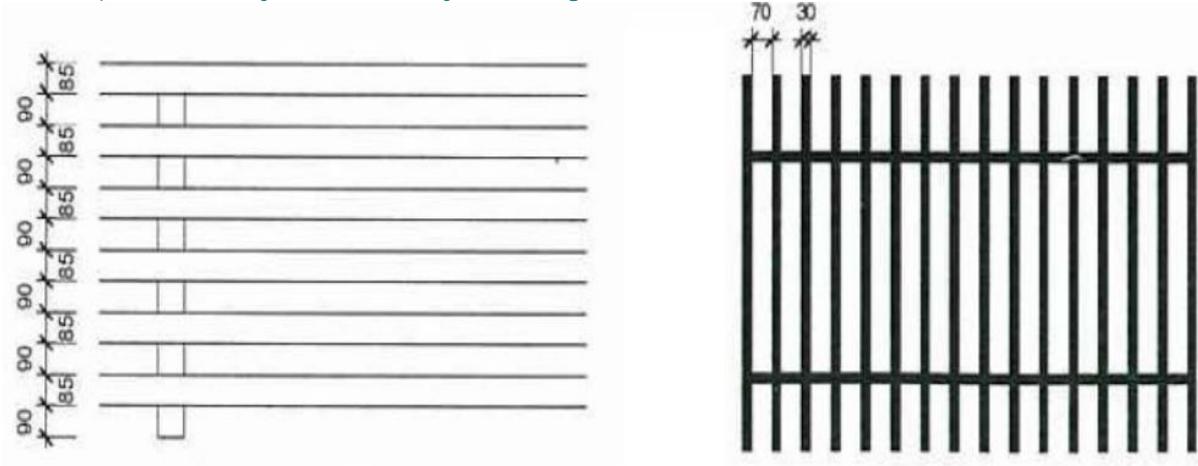
What does 'visually permeable' mean?

Visual Permeability is defined under the Residential Design Codes as continuous vertical or horizontal gaps of at least 50mm width occupying not less than one third (1/3) of its face in aggregate of the entire surface or where narrower than 50mm, at least one half (1/2) of the face in aggregate as viewed directly from the street, as outlined in the table and images below:

Designing Visually Permeable Style Fencing			
Gap sizes based on slat sizes		Slat sizes based on gap sizes	
Slats up to 50mm	Gap size equal to slat size or greater	Gap size less than 50mm	Slats would need to equal the gap size or be smaller
Slats up to 100mm	Gap size to 50mm or greater	Gap size of 50mm or greater	Slats may be double the gap size or smaller

Slats above to 100mm	Gap size equal to half the slat size or greater		
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Examples of Acceptable Visually Permeable Style Fencing



Can I build a solid fence?

Yes, to a maximum height of 1.2m. All portions of the fence above 1.2m in height (excluding piers) must be visually permeable. If you wish to construct a solid fence above 1.2m, you will be required to lodge a development application that will be reviewed by the City to determine if it is acceptable.

What type of fence can I build along my secondary street (side street) if I live on a street corner?

The City's Built Form Policy Clause 5.7 outlines that secondary street fences that satisfy the following requirements are permitted and do not require development approval:

- Solid walls with a maximum height of 1.8m above the adjacent footpath levels;
- Fence piers with a decorative capping can have a maximum height of 2m above natural ground level; and
- Walls shall have at least two significant appropriate design features such as open structures, recesses, planters facing the street, varying materials and finishes and/or colours.

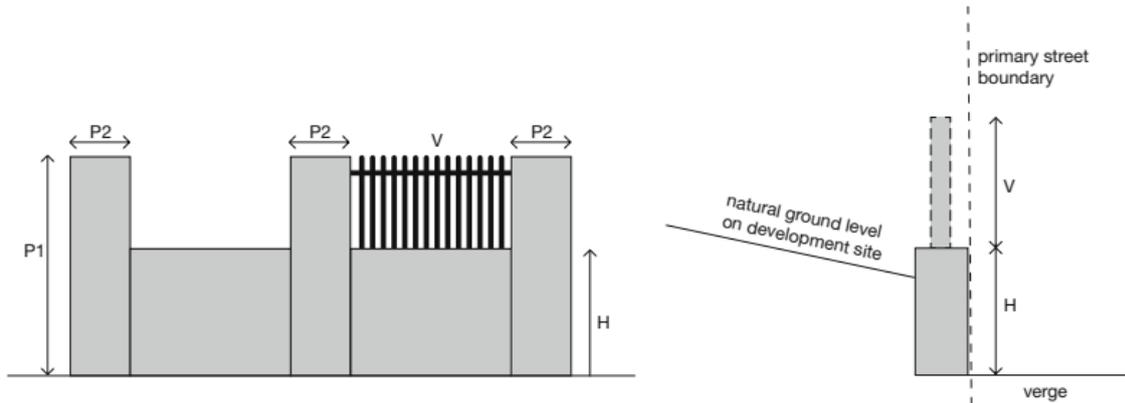
If your secondary street fence design does not satisfy all of the requirements above you will need to submit an application for development approval to the City for consideration.

Can I build a Colorbond front fence?

No. Sheet metal fencing and fibre cement fencing is not permitted to be located to the primary street setback area. All metal sheet and fibre cement fencing must be located behind the primary and secondary setback area.

How does the City measure the height of a front fence?

The height of a front fence is measured from natural ground level on the footpath/verge side of the fence as shown in the images below.



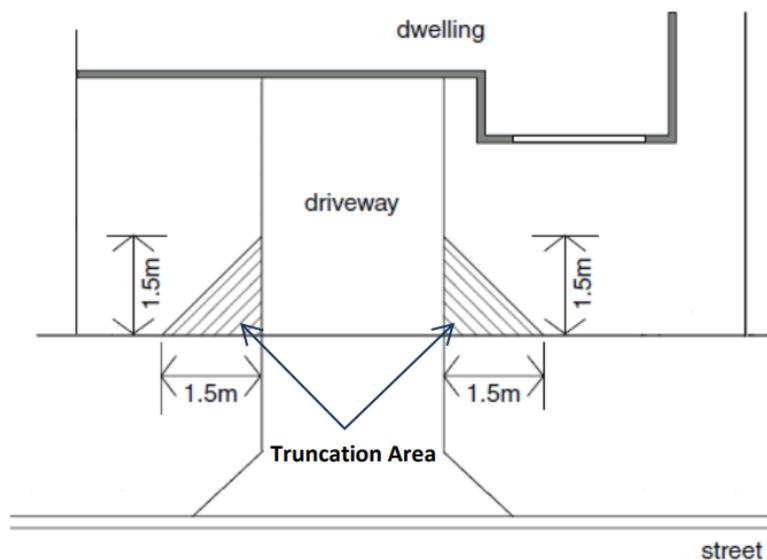
Can I build my fence up to my driveway or my neighbours driveway?

Walls, fences and other structures near a driveway which adjoins a street are to provide a 1.5m x 1.5m truncation. Alternatively, the fence is to have a maximum height of 0.75m within the 1.5m truncation area.

Truncations and reduced fence heights increase safety for drivers and pedestrians as they assist in providing unobstructed sight lines at vehicle access points.

The exception to this rule is that one pier with a maximum width and depth of 400mm and a maximum height of 1.8m can be built within the 1.5m truncation area provided that any fence slats or infill within the 1.5m area provide a clear sight line.

Location of truncation areas



Can I install a sliding vehicle gate?

Sliding vehicle gates offer additional security to the front of resident's properties making them a popular addition to front fences. The City's Built Form Policy Clause 5.8 outlines that sliding gates associated with front fences that satisfy the following requirements are permitted and do not require development approval:

- When closed the sliding gate provides a minimum of 50% unobstructed view.
- When open the sliding gate provides a clear sight line from 0.75m above the natural ground level within the 1.5m truncation area of where the driveway intersects with the street.



If I want to build a pool at the front of my house, can I build a solid fence?

A solid fence to 1.2m is permitted in the front setback area. Visually permeable fencing, as defined by the R-Codes can be placed above the solid fencing up to a maximum height of 1.8m. The fencing would also need to comply with pool fencing requirements prescribed by the Building Codes of Australia.

What if my property is heritage listed?

Heritage listed properties require Development Approval to remove, modify or erect a boundary fence or fence within the front setback area. Please refer to the City's [Heritage Properties Information Sheet](#) for further information.

Do I need Development Approval?

Development approval is not required for front fencing if the fence is fully compliant with deemed-to-comply requirements of the City's Built Form Policy and the R-Codes. Development approval is required for front fences to properties subject to heritage protection or within character retention areas.

Where an application does not meet the requirements as set out in the City's Built Form Policy or the R-Codes, written justification detailing why the development satisfies the relevant design principles is required to be submitted with the application. A Planning Officer will consider this variation and consider whether the application meets the relevant design principles or objectives of the City's Built Form Policy and/or R-Codes. Where variations are not deemed appropriate or in line with the design principles, amended plans or reconsideration of the proposal will be required.

How long does the development application process take?

The City has 60 days in which to determine the application or 90 days if the application requires community consultation.

Clause 75(c) of the *Planning and Development (Local Planning Schemes) Regulation 2015* states that applications may take longer than 90 days where it is agreed to in writing between the local government and the applicant.

How long do I have to build my fence?

Development approvals are valid for 2 years from the date of approval so the construction of the front fence must be substantially commenced within this time period.

What information is required for a Development Application?

Please refer to the [Alterations and Additions to Dwellings - Development Application Checklist](#) for a full list of information to be submitted as part of your application for an ancillary dwelling.

All of the City's development approval application forms and checklists can be found on the City's website [here](#).

Do I need building approval?

Applying for development approval and a building permit are two separate processes, both controlled under different legislation. A building permit ensures that the building is structurally safe and complies with the relevant building legislation.

A building permit is always required for a fence that is masonry and in excess of 750mm in height and/or any part of the fence is more than 500mm in height and will be used as a retaining wall. A building permit is also required where the fence is constructed of a material other than masonry and the height exceeds 1800mm.

If you would like further information on the Building Permit process and fencing requirements please contact the City on 9273 6000.

Do you have more questions?

The City is unable to confirm if a proposal will be supported in the absence of a formal development applications. However, applicants can discuss planning proposals and preliminary plans with the City's Urban Planners. Urban Planners can provide general advice to applicants on a proposed development or land use and the information required to lodge a complete application.

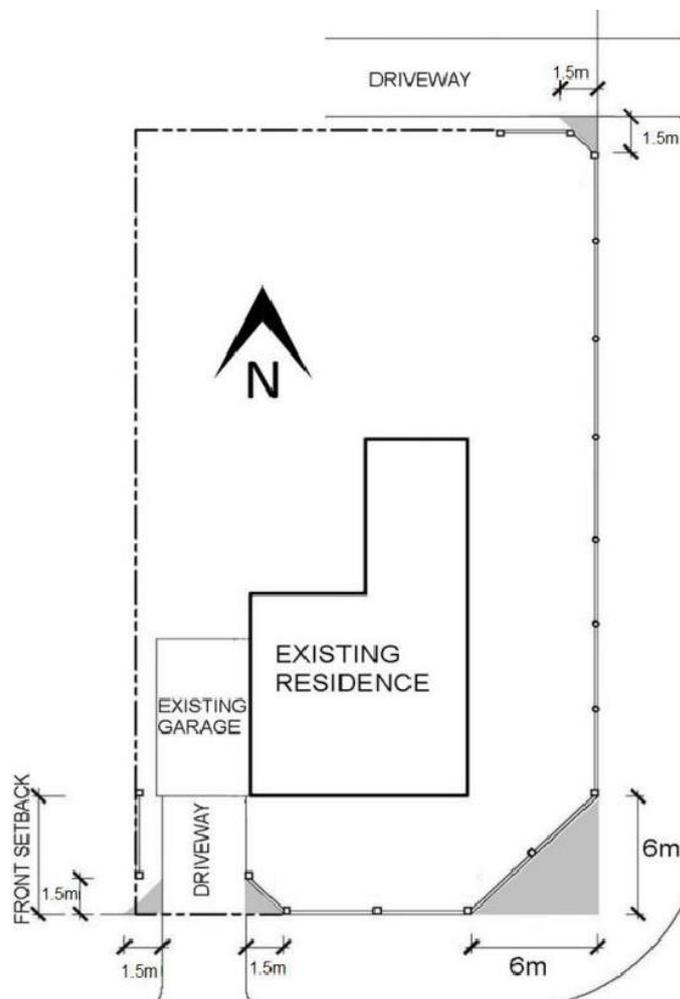
A Duty Planner is available to talk to at the City's Administration Office Monday to Friday, 8.30am to 5.00pm, in person or on the phone.

Phone: 9273 6000

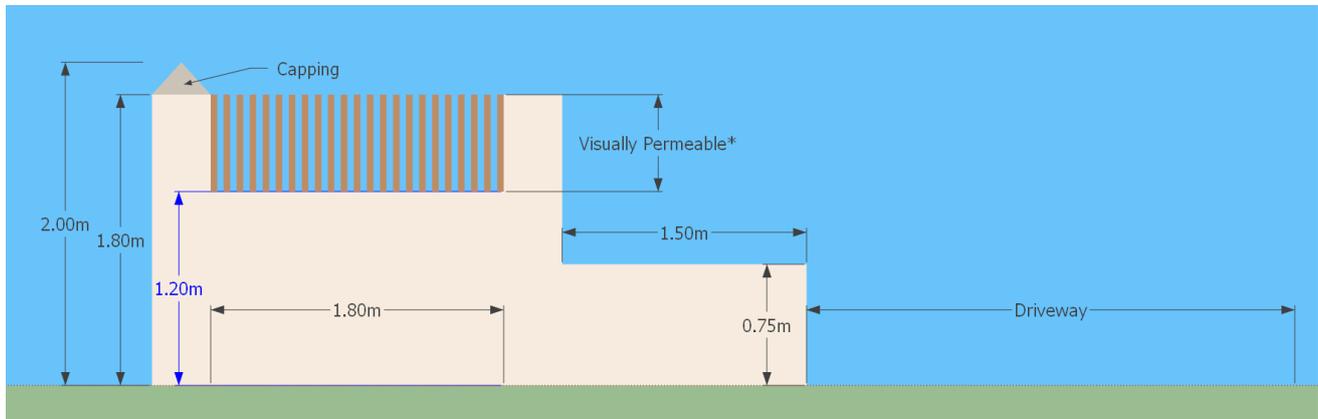
Email: mail@vincent.wa.gov.au

Address: Main Administration Building, 244 Vincent Street, Leederville 6007, WA

SITE PLAN:



ELEVATION PLAN:



Disclaimer:

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