

FRONT FENCES IN RESIDENTIAL AREAS

What is a front fence?

A 'front fence' includes a wall, screen, barrier or the like abutting a street boundary and/or located within the primary street setback area. This includes fencing on the side boundaries within the street setback area.

What sort of front fence can I build without the need to obtain development approval?

The City's Policy No. 7.1.1 Built Form (Built Form Policy) Clause 5.7 Street Walls and Fences specifies the type of fencing permitted in the front setback area, which is summarised as follows:

- Style and materials of the fence shall be compatible with the dwelling and fences within the immediate surrounding area;
- Maximum height of 1.8m above natural ground level;
- Piers with decorative capping permitted to a maximum of 2m in height above natural ground level;
- Solid portions of wall to have a maximum height of 1.2m above natural ground level. Fencing above 1.2m height is to be visually permeable;
- Posts shall have a maximum width of 400mm or diameter of 500mm; and
- The distance between piers shall not be less than the height of the piers (except where a pedestrian gate is proposed).

Can I build a solid fence?

Yes, to a maximum height of 1.2m. All fencing above 1.2m in height (to a maximum height of 1.8m) must be visually permeable above 1.2m in height above natural ground level.

What can I build on my secondary street?

Clause 5.7 Street Walls and Fences of the City's Built Form Policy specifies the type of fencing permitted to the secondary street, which is summarised as follows:

- Solid walls to 1.8 metres above the adjacent footpath levels;
- Piers with decorative capping permitted to 2.0 metres above the adjacent footpath levels; and
- Walls shall have at least two significant appropriate design features (open structures, recesses, planters facing the street, varying materials, finishes and/or colours etc).

Can I build a Colorbond front fence?

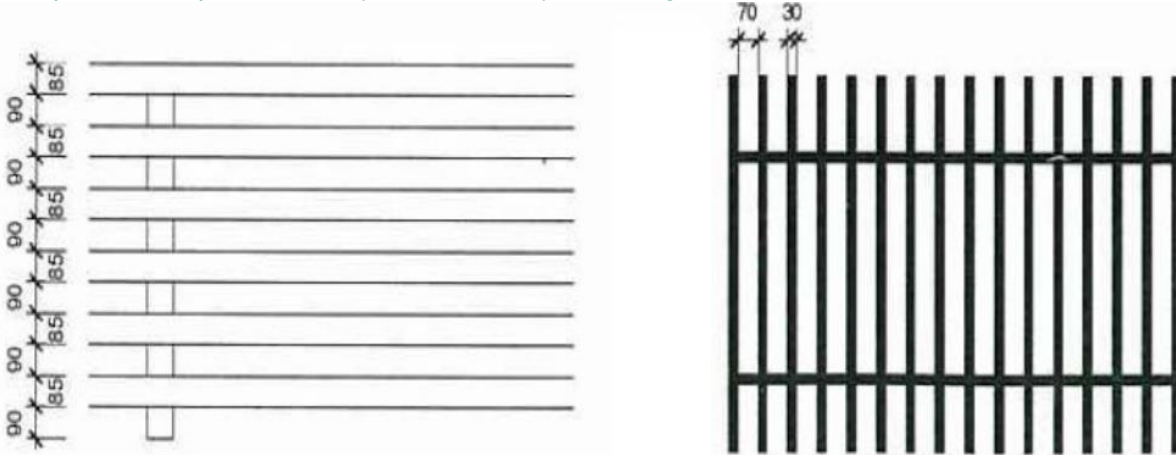
No. Sheet metal fencing and fibre cement fencing is not permitted to be located to the primary street setback area. All metal sheet and fibre cement fencing must be located behind the primary and secondary setback area.

What does 'visually permeable' mean?

Visual Permeability is defined under the Residential Design Codes as Continuous vertical or horizontal gaps of at least 50mm width occupying not less than one third (1/3) of its face in aggregate of the entire surface or where narrower than 50mm, at least one half (1/2) of the face in aggregate as viewed directly from the street.

Designing Visually Permeable Style Fencing			
Gap sizes based on slat sizes		Slat sizes based on gap sizes	
Slats up to 50mm	Gap size equal to slat size or greater	Gap size less than 50mm	Slats would need to equal the gap size or be smaller
Slats up to 100mm	Gap size to 50mm or greater	Gap size of 50mm or greater	Slats may be double the gap size or smaller
Slats above to 100mm	Gap size equal to half the slat size or greater		

Examples of Acceptable Visually Permeable Style Fencing:



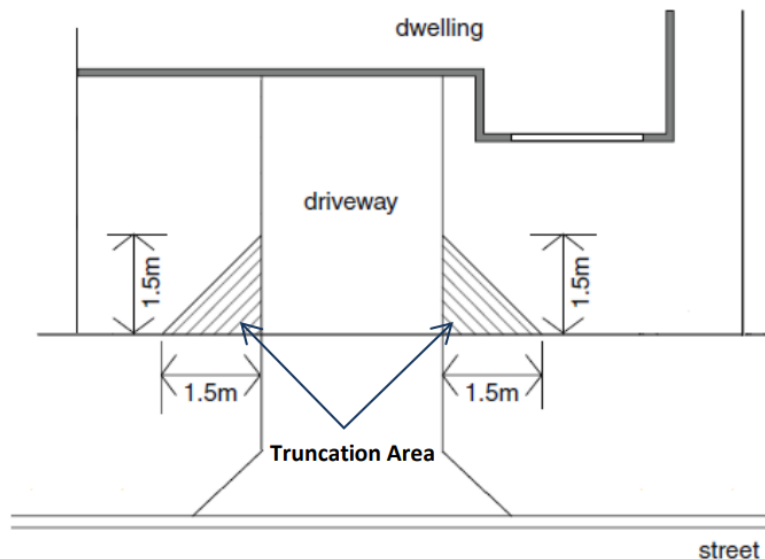
Can I build my fence up to my driveway or my neighbours driveway?

Walls, fences and other structures near a driveway which adjoins a street are to provide a 1.5m x 1.5m truncation. Alternatively, the fence is to have a maximum height of 0.75m within the truncation area.

Truncations and reduced fence heights increase safety for drivers and pedestrians as they assist in providing unobstructed sight lines at vehicle access points.

The City can, through a development application consider a variation to the above requirements, where it can be demonstrated that unobstructed sightlines can be achieved. The City may consider one pier within the visual truncation area provided that it does not exceed a dimension of 350mm by 350mm.

Location of truncation areas:



Can I install a sliding vehicle gate?

Sliding vehicle gates offer additional security to the front of resident's properties making them a popular addition to front fences. In conjunction with Clause 5.7 – Street Walls and Fences, City of Vincent Policy 7.1.1 – Built Form Clause 5.8 – Sightlines, specifies the requirements for a closed/open vehicle access gate when:



Closed: A minimum of 50% unobstructed view.

Open: A Clear Sight Line from 0.75m above the natural ground level within the 1.5m truncation area of where the driveway intersects with the street.

If I want to build a pool at the front of my house, can I build a solid fence?

A solid fence to 1.2m is permitted in the front setback area. Visually permeable fencing, as defined by the R-Codes can be placed above the solid fencing up to a maximum height of 1.8m. The fencing would also need to comply with pool fencing requirements prescribed by the Building Codes of Australia.



What if my property is heritage listed?

Heritage listed properties require Development Approval to remove, modify or erect a boundary fence or fence within the front setback area.

Please refer to the City's Heritage Properties Information Sheet for further information.

Do I need Development Approval?

Development approval is **not** required for front fencing if the fence is fully compliant with deemed-to-comply requirements of the City's Built Form Policy and the R-Codes. Development approval **is** required for front fences to properties subject to heritage protection or within character retention areas.

Where an application does not meet the requirements as set out in the City's Built Form Policy or the R-Codes, written justification detailing why the development satisfies the relevant design principles is required to be submitted with the application. A Planning Officer will consider this variation and consider whether the application meets the relevant design principles or objectives of the City's Built Form Policy and/or R-Codes. Where variations are not deemed appropriate or in line with the design principles, amended plans or reconsideration of the proposal will be required.

How long does the development application process take?

The City has 60 days in which to determine the application or 90 days if the application requires community consultation.

Clause 75(c) of the *Planning and Development (Local Planning Schemes) Regulation 2015* states that applications may take longer than 90 days where it is agreed to in writing between the local government and the applicant.

How long do I have to build my fence?

Development approvals are valid for 2 years. The construction of the front fence is to be substantially commenced within this time period.

What information is required for a Development Application?

Please refer to the relevant Development Application Checklist.

Do I need building approval?

Applying for development approval and a building permit are two separate processes, both controlled under different legislation. A building permit ensures that the building is structurally safe and complies with the relevant building legislation.

A building permit is always required for a fence that is masonry and in excess of 750mm in height and/or any part of the fence is more than 500mm in height and will be used as a retaining wall. A building permit is also required where the fence is constructed of a material other than masonry and the height exceeds 1800mm.

If you would like further information on the Building Permit process and fencing requirements please contact the City on [9273 6000](tel:92736000).

Do you have more questions?

The City is unable to confirm if a proposal will be supported in the absence of a formal development applications. However, applicants can discuss planning proposals and preliminary plans with the City's Urban Planners. Urban Planners can provide general advice to applicants on a proposed development or land use and the information required to lodge a complete application.

A Duty Planner is available to talk to at the City's Administration Office Monday to Friday, 8.30am to 5.00pm, in person or on the phone.

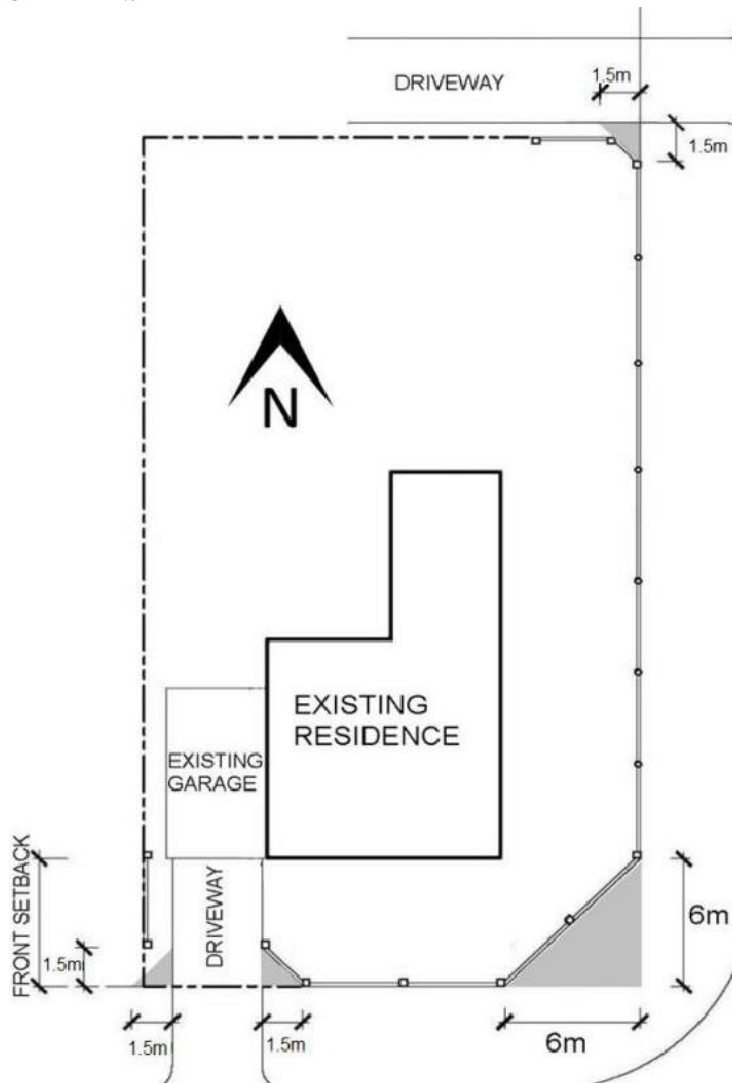
Phone: 9273 6000

Email: mail@vincent.wa.gov.au

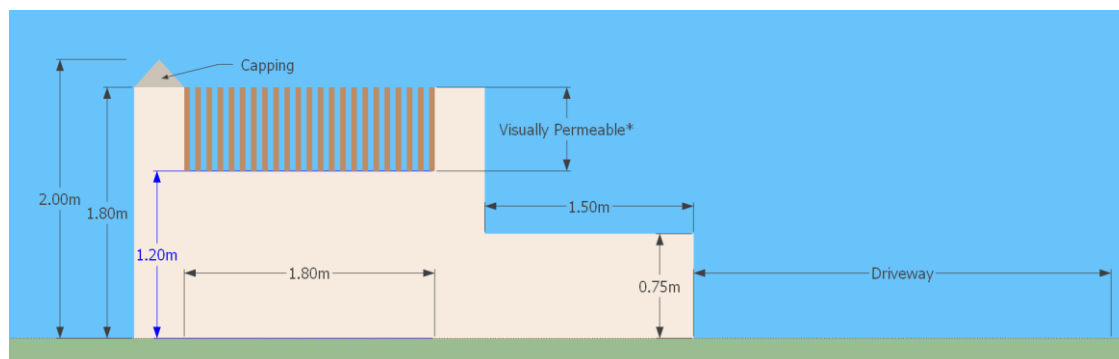
Address: Main Administration Building, 244 Vincent Street, Leederville 6007, WA

Examples of front fence application plans:

SITE PLAN:



ELEVATION PLAN:





Disclaimer:

This information is produced by the City of Vincent in good faith and the City accepts no responsibility for any ramifications or repercussions for providing this information. Verification with the original Local Laws, planning schemes and other relevant documents is recommended for detailed references.