



CARPORTS AND GARAGES

What are carports and garages?

Carports and garages are defined in accordance with State Planning Policy 7.3 - Residential Design Codes Volume 1 (R-Codes).

Carport: A roofed structure designed to accommodate one or more motor vehicles unenclosed except to the extent that it abuts a dwelling or property boundary on one side, and being without a door unless that door is visually permeable.

Garage: Any roofed structure, other than a carport, designed to accommodate one or more motor vehicles and attached to the dwelling.

Do I need Development Approval?

Development approval is **not** required for carports and/or garages if the proposal is fully compliant with deemed-to-comply requirements of the City's Policy No. 7.1.1 Built Form (Built Form Policy) and the R-Codes.

Development approval **is** required for all carports and/or garages located on properties subject to heritage protection or within character retention areas.

Where an application does not meet the requirements as set out in the City's Built Form Policy or the R-Codes, written justification detailing how the development satisfies the relevant design principles is required to be submitted with the application. A Planning Officer will consider this variation and whether the application is considered to meet the relevant design principles or objectives of the City's Built Form Policy and/or R-Codes, to determine whether the variation can be considered. Where variations are not deemed appropriate or in line with the design principles, amended plans or reconsideration of the proposal will be required.

How long does the Development Application process take?

The City has 60 days in which to determine the application or 90 days if the application requires community consultation.

Clause 75(c) of the *Planning and Development (Local Planning Schemes) Regulation 2015* states that applications may take longer than 90 days where it is agreed to in writing between the local government and the applicant.

How long do I have to build my Carport/Garage?

Development approvals are valid for 2 years. The construction of the carport/garage is to be substantially commenced within this time period.

Where can I locate a carport or garage on my property?

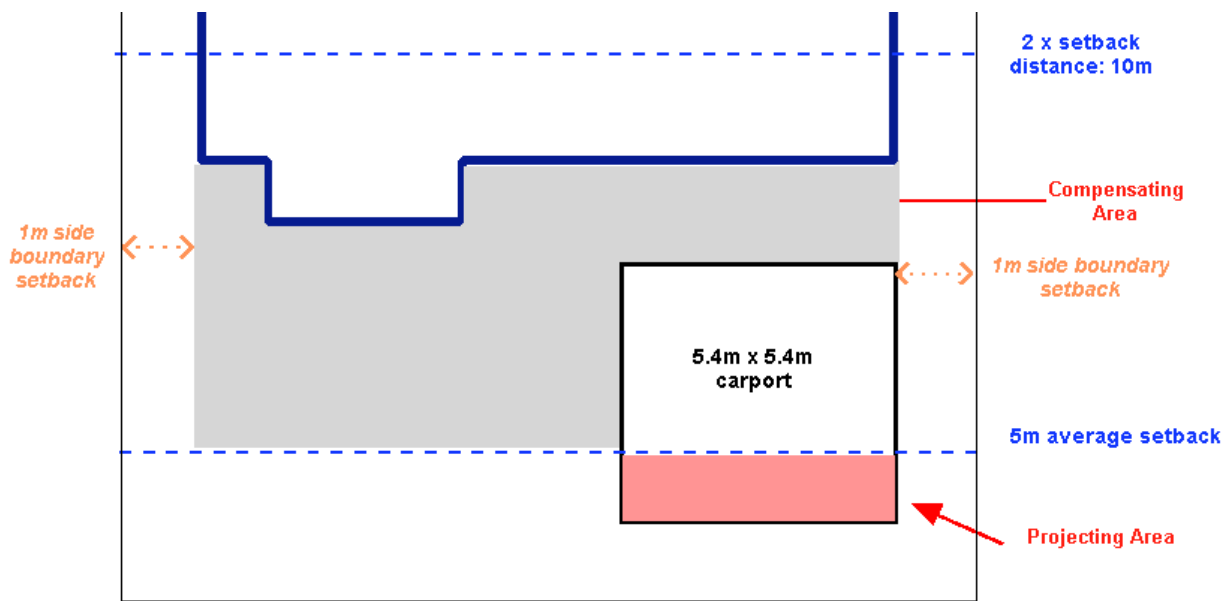
Where available, vehicle access is to be achieved from the right of way (ROW) rather than the primary or secondary street. Vehicle access is to be provided from the secondary street, where no ROW exists. Access from the primary street will only be permitted where no ROW or secondary street exists.



What are the setback requirements?

Front setback

Carports: Where vehicle access is provided from the primary street, carports are to be setback at the average of the five properties adjoining the proposed development (within Residential Built Form areas). The setback of carports may be reduced by up to 50%, in accordance with Clause 5.1.2 C2.1 iii of the R Codes Volume 1, whereby any portion of the carport protruding into the average street setback is compensated with an equivalent area of open space, between the setback and twice the required setback distance.



Example

- 5.0 metre setback required
- 1m projection (5.4sqm) into front setback area
- 5.4sqm compensating open space area required, and provided behind average setback

When located within Town Centre, Mixed Use and Activity Corridor Built Form areas, the setback of carports are subject to Clause 5.2.1 of the R-Codes.

Garages: Where vehicle access is provided from the primary street, garages are to be setback a minimum of 500mm behind the building line of the dwelling, (excluding any porch, portico, verandah, balcony or the like), noting dwellings are to be setback at the average of the five adjoining properties of the proposed development.

Side Setbacks & Rear

Side and rear boundary setbacks of carports and garages are determined in accordance with the City's Built Form Policy 7.1.1 (Table 1.3a – 1.3c). Setback requirements will vary dependant on the length and height of the proposed structure. If the carport or garage has a length less than 9m and a height less than 3.5m, it would require a 1.0 metre setback from the lot boundary. For site specific requirements, please contact the City.

What are the setback requirements from right of ways?

Development must be setback 1m from a right of way.

Please note that right of way widening may be required within the City of Vincent. No development is to be constructed within these widening areas, and setbacks of the structure will be taken from the new lot boundary after widening is applied.

Please contact the City's Technical Services team should you wish to discuss the extent of road widening that may apply to any laneways which abut your property.

Does my carport or garage have to be designed in a particular way?

Carports and garages must match the existing dwellings predominant colour, scale and materials – and must be complementary and subservient to the dwelling.

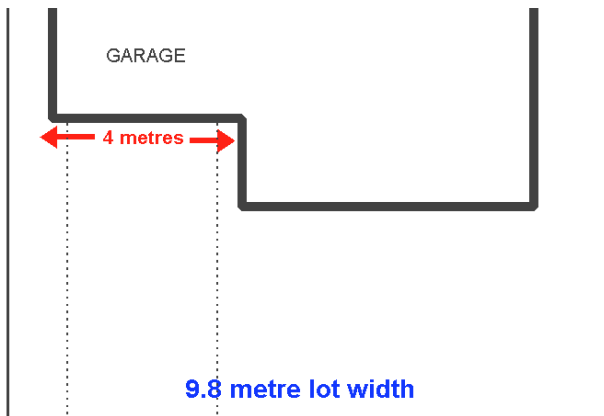
Are there limits as to how much of my lot frontage that a carport or garage can occupy?

The total width of any carport within the front setback area is not to exceed 50% of the frontage (including strata lots) of the lot or 6m, whichever is the lesser.

Garage widths are subject to Clause 5.5 of Built Form Policy 7.1.1 (within Residential Built Form areas) and Clause 5.2.2 of the R-Codes (within Town Centre, Mixed Use and Activity Corridor Built Form areas).

Built Form Policy Clause 5.5

- Garages which are 50% or less than the width of the lot.
- For lots less than 10 metres wide, garages which are a maximum of 4 metres wide



Lots with a reduced frontage (10m or less) can only provide a single garage as viewed from the street.

Double garages are not permitted.

How tall can my carport or garage be?

Carport and garage heights are to be considered in accordance with the permissible building heights, as noted in the City's Built Form Policy 7.1.1.

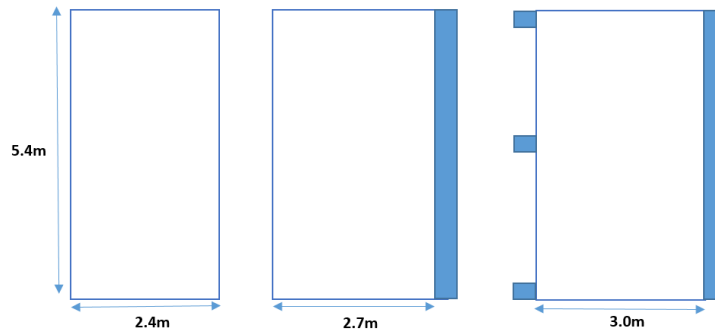
Wall Height	3.0m
Concealed (Flat) Roof	4.0m
Pitched Roof	6.0m
Skillion Roof	Top: 4.0m Bottom: 3.0m

What are the minimum dimensions for a carport or garage?

Minimum dimensions for vehicles are dictated by the Australian Standards (AS290.1). Car parking bays need to be increased in size when adjacent to obstructions.

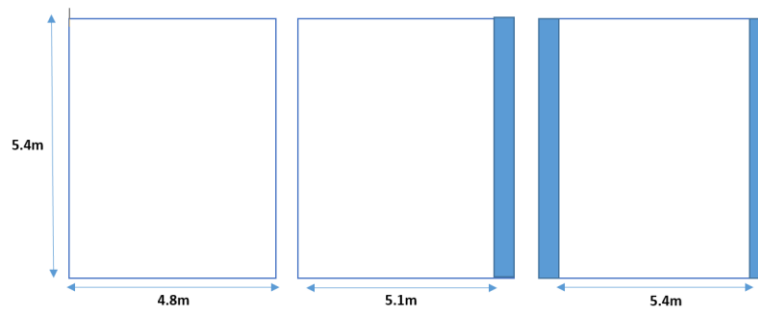
Single Vehicle

- Minimum car bay length is 5.4m.
- Minimum car bay width is 2.4m.
- Any structures – posts or walls – adjacent the vehicle doors require an additional 0.3m to be added to the width of the parking area to a total 3.0m width.



Double Vehicle

- Minimum car bay length is 5.4m.
- Minimum car bay width is 4.8m.
- Any structures – posts or walls – adjacent the vehicle doors require an additional 0.3m to be added to the width of the parking area to a total 5.4m width



Can I have solid walls or piers next to my carport or garage?

Applications for carports and garages must meet sight lines requirements. In accordance with the Built Form Policy 7.1.1 - Clause 5.8 Sight Lines. Walls, fences and other structures near a driveway which adjoins a street are to provide a 1.5m x 1.5m truncation. Alternatively, the fence is to have a maximum height of 0.75m within the truncation area.

Truncations and reduced fence heights increase safety for drivers and pedestrians as they assist in providing unobstructed sight lines at vehicle access points.

The City can, through a development application consider a variation to the above requirements, where it can be demonstrated that unobstructed sightlines can be achieved. The City may consider one pier within the visual truncation area provided that it does not exceed a dimension of 400mm by 400mm.

Sliding vehicle gates offer additional security to the front of resident's properties making them a popular addition to front fences. In conjunction with Clause 5.7 – Street Walls and Fences, Clause 5.8 – Sightlines, specifies the requirements for a closed/open vehicle access gate to a carport or garage when:

- Closed: A minimum of 50% unobstructed view.
- Open: A Clear Sight Line from 0.75m above the natural ground level within the 1.5m truncation area of where the driveway intersects with the street.

What if I want a door on my carport?

Carports must provide an unobstructed view to major openings of the dwelling from the street. Any proposed gates or doors to carports are required to be visually permeable as defined by the R-Codes.

What information is required for a Development Application?

Please refer to the relevant Development Application Checklist.



Do I need a Building Permit?

Applying for development approval and a building permit are two separate processes, both controlled under different legislation. A building permit ensures that the building is structurally safe and complies with the relevant building legislation. A Building Permit is required for all carport and garage developments.

If you would like further information on the Building Permit process and requirements, please contact the City on 9273 6000.

Do you have more questions?

The City is unable to confirm if a proposal will be supported in the absence of a formal development applications. However, applicants can discuss planning proposals and preliminary plans with the City's Urban Planners. Urban Planners can provide general advice to applicants on a proposed development or land use and the information required to lodge a complete application.

A Duty Planner is available to talk to at the City's Administration Office Monday to Friday, 8.30am to 5.00pm, in person or on the phone.

Phone: 9273 6000

Email: mail@vincent.wa.gov.au

Address: Main Administration Building, 244 Vincent Street, Leederville 6007, WA

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