

POLICY NO. 7.1.1

BUILT FORM

TABLE OF CONTENTS

PART 1 – PRELIMINARY	4
POLICY DEVELOPMENT	4
PURPOSE & APPLICATION	4
POLICY OBJECTIVES	4
RELATIONSHIP TO OTHER DOCUMENTS	5
DEFINITIONS.....	5
APPLICATION OF POLICY & DEVELOPMENT STANDARDS	7
FIGURE 1 – BUILT FORM AREAS	9
FIGURE 2 – BUILDING HEIGHTS	10
PART 2 - POLICY PROVISIONS	11
Section 1 – Town Centres	11
1.1 Building Height	12
1.2 Setbacks	17
1.3 Corner Sites	21
1.4 Ground Floor Design	23
1.5 Awnings, Verandahs and Collonades	27
1.6 Building Design	29
1.7 Landscaping.....	31
1.8 Environmentally Sustainable Design	35
1.9 Pedestrian Access.....	38
1.10 Vehicle Access & Parking.....	40
1.11 Service Areas & External Fixtures	43
Section 2 – Activity Corridors.....	45
2.1 Building Height	46
2.2 Activity Corridor Development Requirements	48

Section 3 – Mixed Use.....	49
3.1 Building Height	50
3.2 Mixed Use Development Requirements	53
Section 4 – Transit Corridors	54
4.1 Building Size	55
4.2 Building Height	56
4.3 Setbacks	61
4.4 Open Space	64
4.5 Street Surveillance	64
4.6 Street Walls and Fences	65
4.7 Sight lines.....	67
4.8 Building Appearance	67
4.9 Outdoor living areas	67
4.10 Landscaping.....	68
4.11 Parking.....	72
4.12 Design of Car Parking Spaces.....	72
4.13 Vehicular Access.....	72
4.14 Site Works.....	72
4.15 Retaining Walls	72
4.16 Stormwater Management	72
4.17 Visual Privacy.....	72
4.18 Solar Access for adjoining sites.....	73
4.19 Dwelling Size.....	73
4.20 Outbuildings	73
4.21 External Fixtures	74
4.22 Utilities and Facilities	76
4.23 Environmentally Sustainable Design	76
Section 5 - Residential.....	77
5.1 Site Area	78
5.2 Street Setback.....	79
5.3 Lot Boundary Setback	80
5.4 Open Space	82

5.5	Communal Open Space	82
5.6	Building Height	83
5.7	Setback of Garages and Carports	87
5.8	Garage Width	89
5.9	Street Surveillance	90
5.10	Street Walls and Fences	91
5.11	Sight Lines	93
5.12	Appearance of Retained Dwelling.....	93
5.13	Outdoor Living Areas.....	93
5.14	Landscaping.....	94
5.15	Parking.....	98
5.16	Design of Car Parking Spaces.....	98
5.17	Vehicular Access.....	98
5.18	Pedestrian Access.....	98
5.19	Site Works.....	98
5.20	Retaining Walls	98
5.21	Stormwater Management	98
5.22	Visual Privacy.....	98
5.23	Solar Access for Adjoining Sites.....	99
5.24	Outbuildings	99
5.25	External Fixtures	100
5.26	Utilities and Facilities	102
5.27	Ancillary Dwellings	102
5.28	Aged or Dependent Persons' Dwellings	102
5.29	Single Bedroom Dwellings.....	102
5.30	Environmentally Sustainable Design	102
5.31	Development on Rights of Way	103
	Appendix 1 – DESIGN PRINCIPLES	105

PART 1 – PRELIMINARY

POLICY DEVELOPMENT

This Policy has been prepared under the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

PURPOSE & APPLICATION

The purpose of this Policy is to provide guidance on development in the City of Vincent. This Policy applies to all development applications in the City of Vincent.

POLICY OBJECTIVES

Context

1. Development which integrates land use, public space and the form of the built environment.
2. Ensure development is respectful of local and historic context.
3. Preserve and reinterpret established built form and social character.
4. Facilitate redevelopment while maintaining and enhancing amenity.

Design

5. To facilitate good quality and well-designed development, including both buildings and landscaping.
6. Development which facilitates activity and vibrancy.
7. Contribute to and bridges between planning and design specialties.
8. Encourage development that incorporates the principles of Crime Prevention through Environmental Design.
9. To facilitate orderly and proper planning by providing Deemed to Comply requirements as a straight-forward pathway to approval and Design Principles and Local Housing Objectives for innovative solutions resulting in positive development outcomes.

Sustainability

10. High quality urban places that are efficient, functional and attractive, and can respond to the changing needs of the community, environment and the economy over time.
11. Resource, energy and water efficiency throughout lifecycle including construction, maintenance and ongoing upkeep. Encourage building design that incorporates sustainable and energy efficient design that befits the local climate and provides comfortable living conditions.

Movement

12. Maximise the opportunities provided by the City of Vincent's proximity to the Perth central business district, major public transport routes, and cycling networks.

Housing

13. To provide a range of development types and encourage a range of housing typologies to address the demographic and needs of the community.
14. A focus on the retention and adaptive re-use of the City's building stock and the provision of affordable housing.

RELATIONSHIP TO OTHER DOCUMENTS

This Local Planning Policy forms part of the City of Vincent local planning policy framework. Where this Policy is inconsistent with the City's local planning scheme, the local planning scheme prevails. Where this Policy is inconsistent with an adopted Local Development Plan, Activity Centre Plan or Structure Plan, the adopted Local Development Plan, Activity Centre Plan or Structure Plan prevails.

Where this Policy is inconsistent with the provisions of a specific Policy or Guidelines applying to a particular site or area (eg Character Retention Area Guidelines), the provisions of that specific Policy or Guidelines shall prevail.

DEFINITIONS

Active Frontage	A ground floor space where there is visual engagement between those in the street and those on the ground floors of buildings.
Articulation	Architectural composition in which elements and parts of the building are expressed logically, distinctly, and consistently, with clear joints. For the purposes of this Policy articulation refers to points within a dwelling that clearly distinguish one part of the dwelling from another, such as setback between the ground and upper floors and indentations or 'breaks' within building walls.

Average Natural Ground Level	The average natural ground level is calculated as the average of the sum of the natural ground level points directly below the outermost corner points of the footprint of each level of the dwelling (see Figures 4 and 5).
Awning	A roof like structure attached to a building to provide shelter.
Building Height	As per the R Codes.
Canopy Coverage	Land area covered by tree crowns (branches, leaves, and reproductive structures extending from the trunk or main stems).
Climate Moderation Devices	A structure or element which provides suitable control of internal temperature and air conditions, but does not include air conditioners.
Colonnade	A sequence of columns, covered or open, free-standing or part of a building.
Dedicated Road	A road which has been committed to public use in accordance with the <i>Land Administration Act 1997</i> .
Deep Soil Zone	Areas of soil within a development which provide a minimum space of 1 metre that allows for and supports mature plant and tree growth excluding areas covered with impervious surfaces.
External Fixtures	As per the R Codes.
Landscaping	<p>As per the R Codes with additional clarification on “any other such area approved of by the decision-maker as landscaped area” to be defined as:</p> <p>Landscaped areas which are available for the use and enjoyment of the occupants, can include common and/or private open areas and recreational areas but does not include covered portions of driveways, hard paved driveways and parking areas, open air porous parking areas and driveways, or green walls.</p>
Natural Ground Level	As per the R Codes.
Permanent Structure	Building or development which is not temporary and cannot be easily removed, this includes but is not limited to development with footings.
Primary Street	As per the R Codes.
R Codes	Refers to State Planning Policy 3.1: Residential Design Codes.
Secondary Street	As per the R Codes.

Skillion Roof	A mono-pitch roof form.
Soft Landscaping	Any landscaped area with a minimum soil depth of 300mm that contains in-ground planting, and is exclusive of removable planter boxes/pots, artificial turf, green walls and porous paving areas.
Stall riser	The part of a shop front below a window.
Streetscape	The visual elements of a street including the road, adjoining buildings, foot paths, street furniture, trees and open spaces that combine to form the street's character.
Verandah	A roofed platform partly enclosed or unenclosed extending across the front and sides of a building.
Visible Light Transmission	Light passing directly through glass.
Visually permeable	As per the R Codes.

APPLICATION OF POLICY & DEVELOPMENT STANDARDS

1. Application

- 1.1. Part 2, Section 1 of this Policy applies to applications for development in the areas identified as town centre areas on Figure 1, pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.2. Part 2, Section 2 of this Policy applies to applications for development in the areas identified as activity corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.3. Part 2, Section 3 of this Policy applies to applications for development in the areas identified as mixed use areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.4. Part 2, Section 4 of this Policy applies to applications for development in the areas identified as transit corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.5. Part 2, Section 5 of this Policy applies to applications for development in the areas identified as residential areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

2. Development Standards

- 2.1. Applications for development that comply with the relevant Deemed to Comply policy provisions are considered to be acceptable and will therefore be approved.

- 2.2. Applications for development that propose any of the Not Accepted policy provisions specified will be refused.
- 2.3. Applications for development that seek departure from the Deemed to Comply' policy provisions may be deemed to be acceptable where the following occurs:
 - 2.3.1 The applicant applies for assessment against the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;
 - 2.3.2 The applicant provides adequate justification against those Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;
 - 2.3.3 Where required by the City's Policy 4.2.13 – Design Advisory Committee (DAC), the applicant presents the development to the DAC to review and provide comment to the City regarding whether the application meets the relevant Design Principles contained within the Policy and Appendix 1 and Local Housing Objectives; and
 - 2.3.4 The City will assess and determine at its discretion that the outcome will achieve the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme.



FIGURE 1 – BUILT FORM AREAS

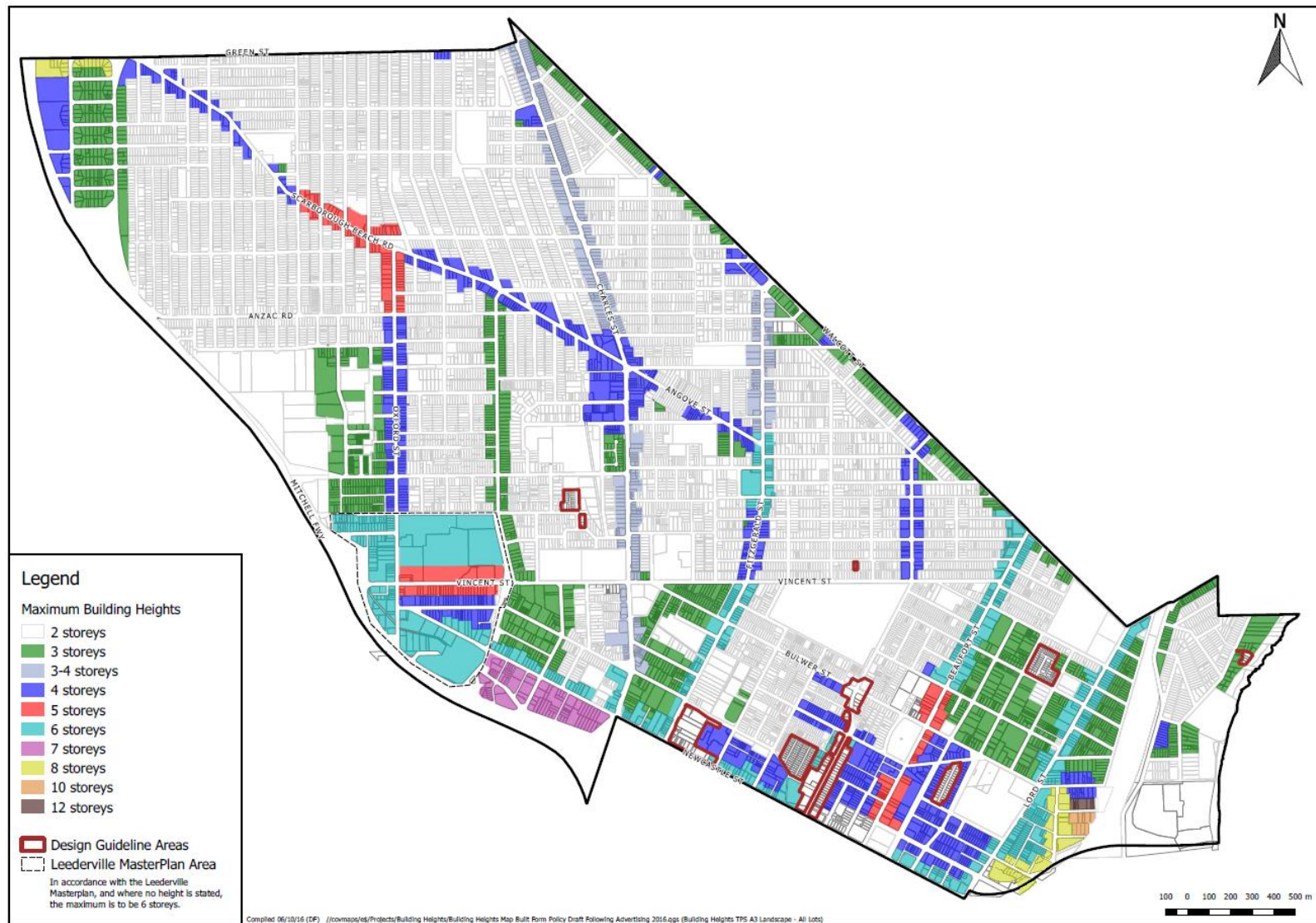


FIGURE 2 – BUILDING HEIGHTS

PART 2 - POLICY PROVISIONS

Section 1 – Town Centres

Part 2, Section 1 of this Policy applies to Town Centres as shown in Figure 1 – Built Form Areas.

1.1 Building Height

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P1.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P1.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P1.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P1.1.5** The City may approve development which exceeds the maximum height stated in Table 1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses Sections 5.1.6 and 6.1.2 of the

R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.1.1** Development that is consistent with the building heights provided in Table 1 and Figure 2.
- C1.1.2** External fixtures may extend beyond the maximum height in Table 1 and Figure 2 where they are not visible from the street or neighbouring properties.
- C1.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

TABLE 1: Building Height – Town Centres

Location	Maximum No. of Storeys Building Height	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top Highest point of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.: Vincent Street – 5 storeys Carr Place – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 Storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 Storeys	13.3m	14.3m	13.3m	14.3m	16.3m
North Perth	Fitzgerald Street – 6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
	Angove Street – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

Location	Maximum No. of Storeys Building Height	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top Highest point of skillion roof	Top of pitched roof
Perth	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Lawley / Highgate	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

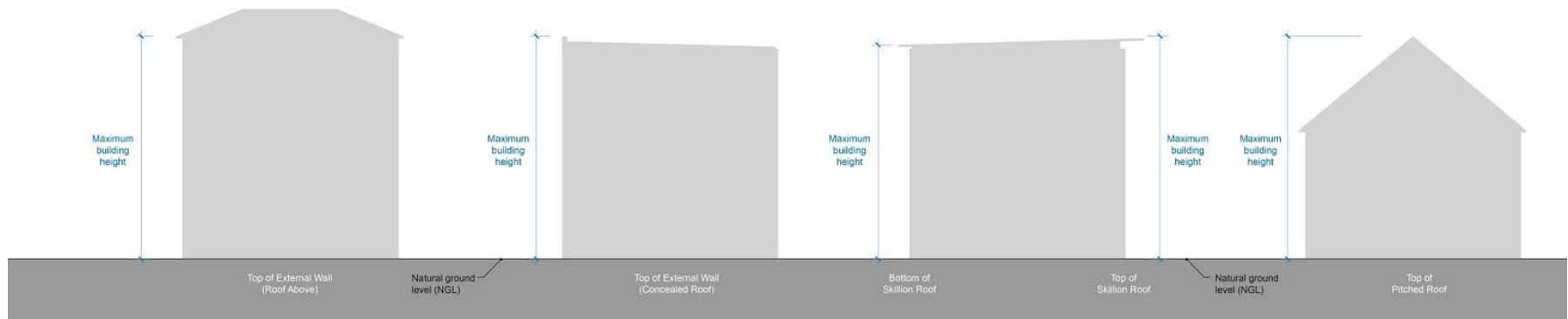


Figure C1.1.1 – Building Height Measurement

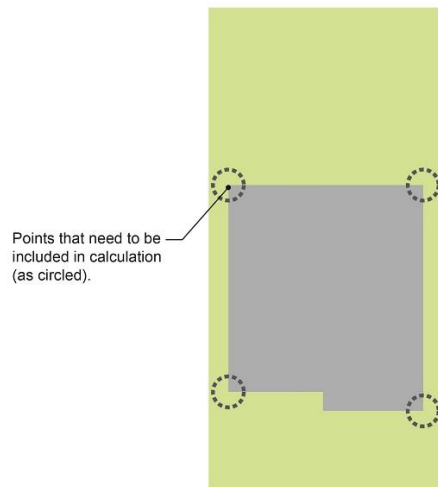


Figure 3 – Average Natural Ground Level Calculation

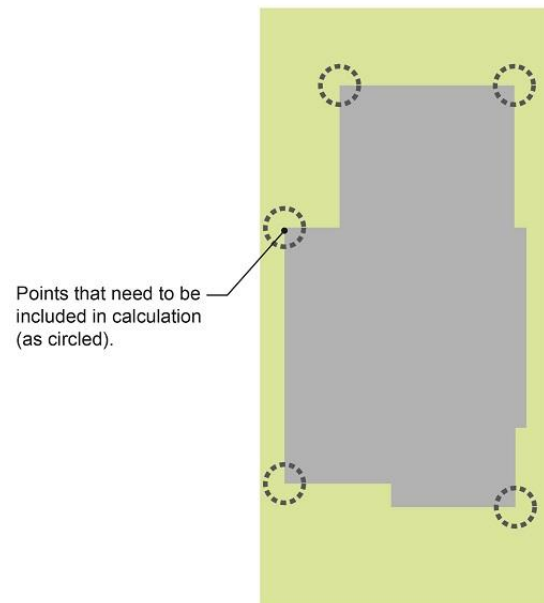


Figure 4 – Average Natural Ground Level Calculation

1.2 Setbacks

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- P1.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- P1.2.3** Setbacks that facilitate the provision of landscaping.
- P1.2.4** Development which activates and addresses rights of way.
- P1.2.5** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.2.1** Primary and secondary street setback for the first three storeys is nil.

Setbacks Adjoining Non-Residential Built Form Areas

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 6.1.4 C4.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.2.2** Minimum side boundary setbacks for the first two storeys is nil.
- C1.2.3** Side boundary setbacks for development three storeys and above and rear boundary setbacks are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Setbacks Adjoining Residential Built Form Areas

- C1.2.4** Lot boundary setbacks adjoining properties coded R60 and above are:
 - Ground floor, second and third storey is 4.5m; and
 - fourth storey and above 6.5m;
 unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.
- C1.2.5** Lot boundary setbacks adjoining properties coded R50 and below are:
 - Ground floor, second and third storey is 6.5m; and
 - fourth storey and above 12.5m;
 unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Development Adjoining Rights of Way

C1.2.6 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

C1.2.7 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

Not Accepted

N1.2.1 Non-compliance with lot boundary setback provisions where the site adjoins land coded R40 and below.

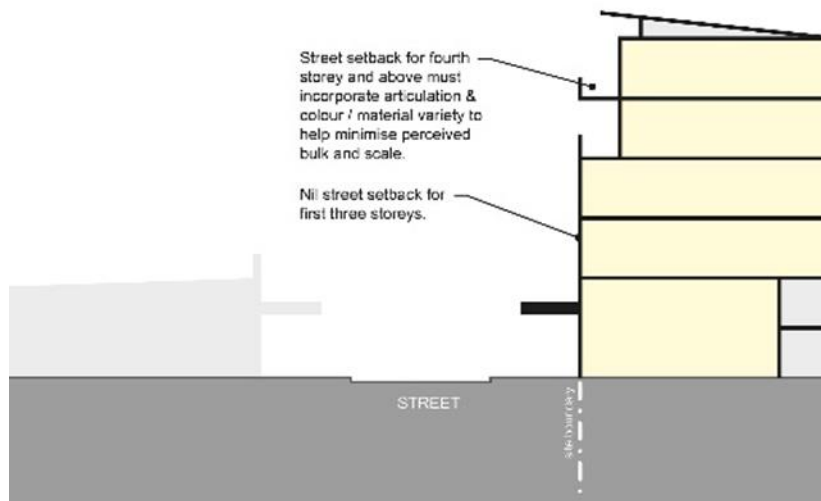


Figure C1.2.1 – Town Centre Street Setback

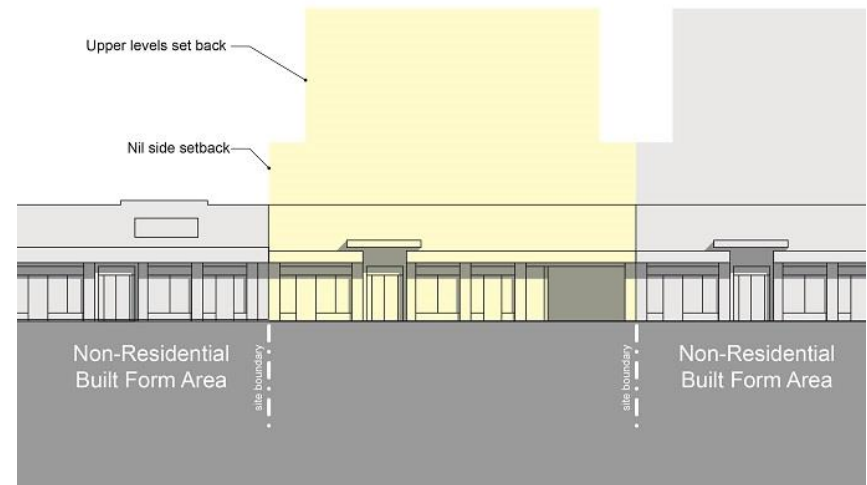


Figure C1.2.3 – Side boundary setbacks adjoining non-residential area

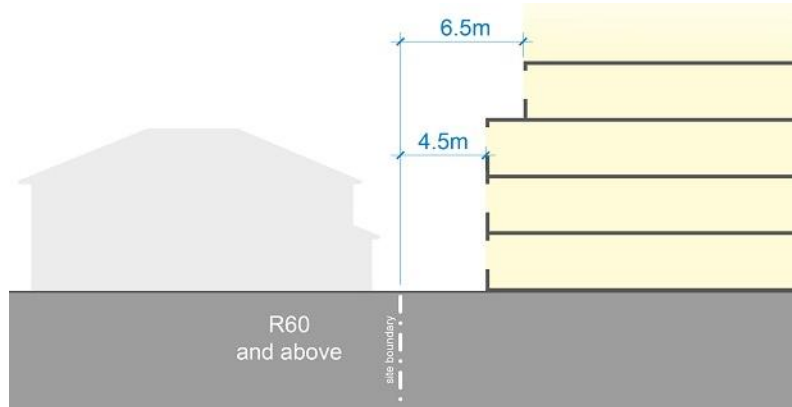


Figure C1.2.5 - Lot boundary setbacks adjoining properties coded R60 and above.

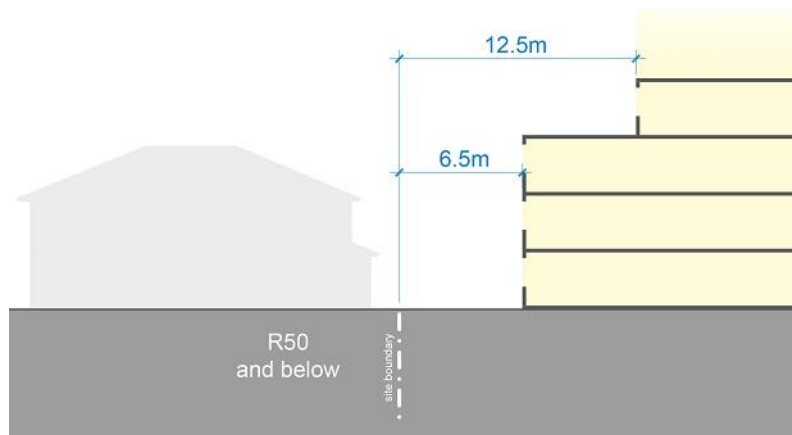


Figure C1.2.6 - Lot boundary setbacks adjoining properties coded R50 and below

1.3 Corner Sites

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.3.1** Development on corner sites that is designed to express significance and frame the corner to define the built form and give a strong edge to the public realm.
 - P1.3.2** Development expressed with strong visual elements that integrate with both street frontages.
 - P1.3.3** Create cohesion of both street frontages and contribute to a comfortable pedestrian environment by addressing each frontage with awnings.
 - P1.3.4** Designed to address developments on the opposing street corner.
-

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.3.1** Buildings which are designed to address and emphasise the corner and provide uninterrupted activation of both street frontages.
-

- C1.3.2** Footpath protection with awnings provided on both primary and secondary streets.
-

Not Accepted

- N1.3.1** Service areas or fire egress stairs located on or within 1m of the corner.
- N1.3.2** Building entries that are significantly recessed back from the street corner, creating an under croft that takes activity away from the footpath.

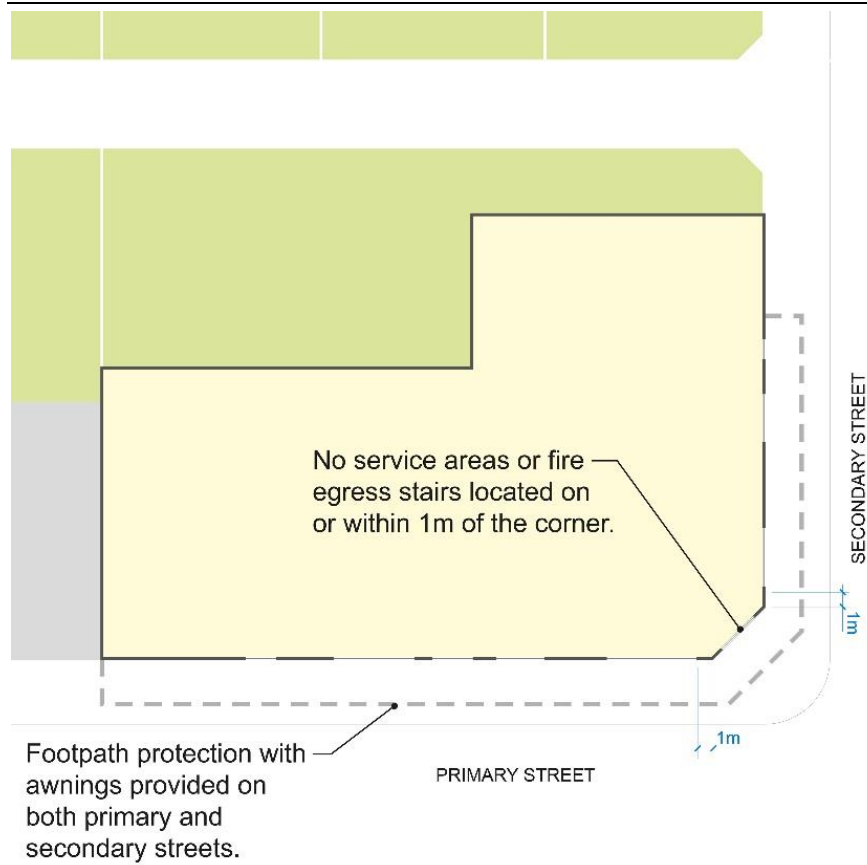


Figure C1.3 – Corner Sites

1.4 Ground Floor Design

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.4.1** Development shall integrate with adjoining public spaces and provide building frontages that contribute to the liveliness, interest, comfort and safety of these public spaces.

Façade Design

- P1.4.2** Ground floor façade depths which provide robustness and space for detail.
- P1.4.3** Active frontage allowing uses to be clearly visible from the street.
- P1.4.4** Emphasise vertical articulation to break up building mass and highlight street level uses and details.
- P1.4.5** Development which retains traditional commercial facades where possible.
- P1.4.6** Contemporary active frontages which are designed with the core elements of traditional shopfront design.
- P1.4.7** Ground floor commercial spaces which increase engagement with the public realm with opening doors, windows and walls.

- P1.4.8** Security measures which do not adversely detract from the streetscape.

- P1.4.9** Adhere to the performance criteria of the Western Australian Planning Commissions, Designing Out Crime Planning Guidelines.

Tenancy Size

- P1.4.10** Regular entrances with attractive, open and operable shopfronts, which increase the interest and engagement of pedestrians and improve walkability and vibrancy.
- P1.4.11** Spaces which accommodate relevant and desirable uses.
- P1.4.12** Tenancies which maintain the regular spacing rhythm of the streetscape.
- P1.4.13** Development designed to be adaptive and cater for changing uses over time.
- P1.4.14** All design elements and spaces within the development must have purpose, 'dead' spaces are not supported.

Materials

- P1.4.15** High quality durable materials and textures used at street level which reference the surrounding context where possible.
- P1.4.16** Detailed and/or sustainably sourced materials which are highly engaging to the pedestrian.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Façade Design

- C1.4.1** Façade depth of 300mm to allow space for the articulation of entries, openings, windows, sills, stall risers and other detailing.
- C1.4.2** The design shall incorporate vertical articulation by using tall and narrow façade treatments.
- C1.4.3** Maximise the width of active frontage including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.
- C1.4.4** Co-locate service areas and vehicular access to maximise the width of the active frontage.
- C1.4.5** Stall risers to a minimum height of 450mm.
- C1.4.6** Location of signage to be integrated into the design and articulation of the ground floor.
- C1.4.7** Where it is necessary to include fire boosters, mail boxes and external fixtures on the ground floor facade, these are to be screened or made to appear as part of the façade of the ground floor design to maximise the width of the active frontage.

- C1.4.8** Minimal use of shallow framing systems and thin wall/glazing systems.
- C1.4.9** Development which fronts a link or arcade must maximise active frontage.
- C1.4.10** Security measures located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses.
- C1.4.11** Security measures which are transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.

Tenancy Size

- C1.4.12** Ground floor spaces are to have a finished floor level to finished ceiling level height of minimum 3.5m.
- C1.4.13** Ground floor spaces with a width between 7.5m to 9m.
- C1.4.14** Ground floor tenancies within new mixed use and commercial buildings shall provide an acoustic report which demonstrates that they are capable of attenuating noise for a range of land uses including high intensity uses such as small bars and restaurants.

Materials

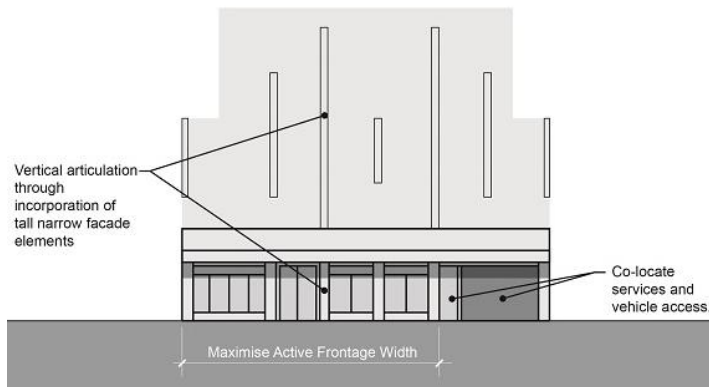
- C1.4.15** Ground floor glazing and/or tinting to be a minimum of 70% visually permeable to provide unobscured visibility.
- C1.4.16** Use of contrasting materials. This may be in the form of contrasting texture, colour, pattern or material finish.

Not Accepted

- N1.4.1** Unarticulated monotonous facades to the street.
- N1.4.2** Floor to ceiling glazing, excluding doors.
- N1.4.3** Street walls and fences which front the street.
- N1.4.4** Glazing and/or tinting with 50% or lower visual permeability.
- N1.4.5** Blank walls, dead ends and hidden recesses.
- N1.4.6** Features or structures that can be used as natural ladders to gain access to higher levels, windows or doors.



Figure C1.4.9 – Active Frontages to Link and Arcades



C1.4.2 & C1.4.4 – Town Centre Facades

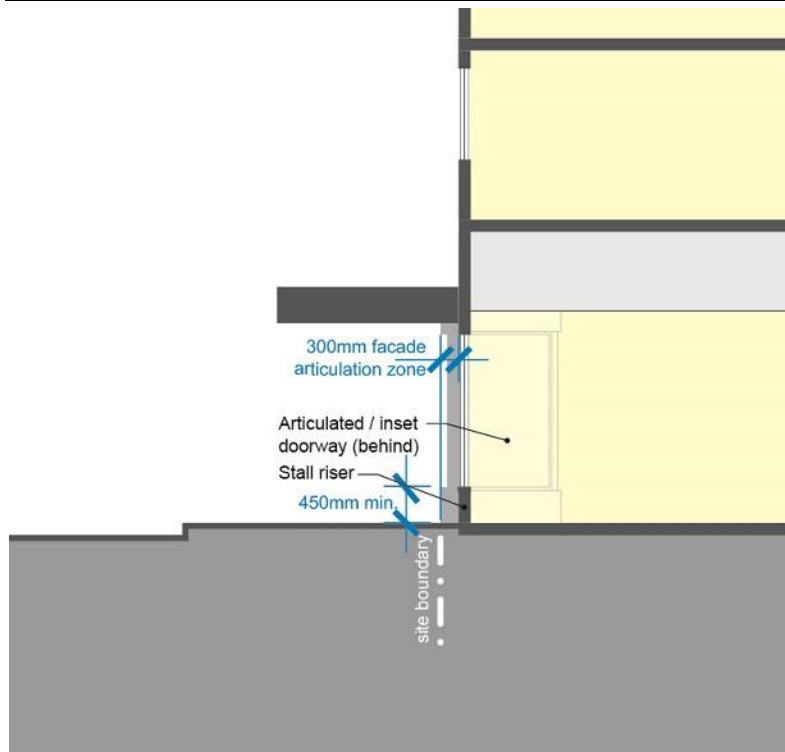


Figure C1.4 – Façade Design

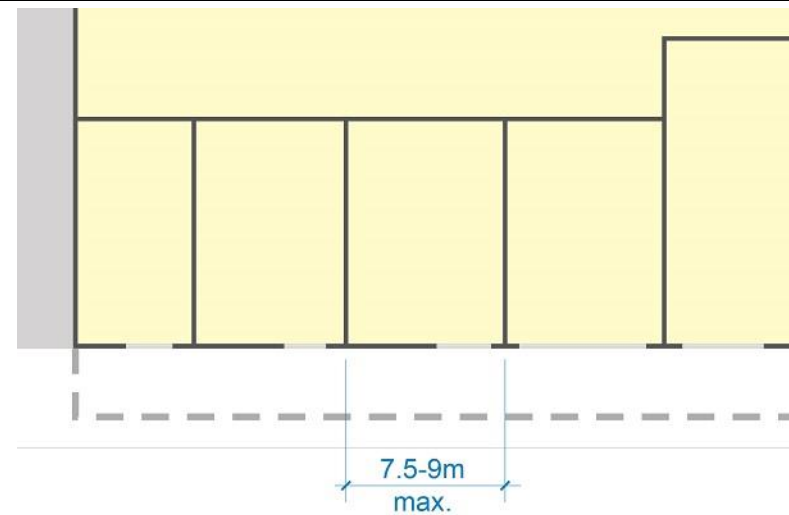


Figure C1.4.12 – Tenancy Size

1.5 Awnings, Verandahs and Collonades

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.5.1** Provide a continuous network of pedestrian shelter along building frontages to encourage walking and to provide protection from the elements.
- P1.5.2** Contribute to the legibility of a building and enhance building façade articulation.
- P1.5.3** Create a human scale space that encourages window shopping and outdoor trading and dining.
- P1.5.4** Be considered an integral part of the overall architecture of the development and considers the form of existing awnings.
- P1.5.5** Designed to allow unobstructed access to public spaces.
- P1.5.6** Design which is responsive to any existing and/or proposed verge trees.
- P1.5.7** The City may approve development which does not provide an awning where landscaping, which provides equal or greater coverage than an awning, is proposed.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.5.1** Awnings, verandahs and collonades must be a minimum height of 3.5m from finished floor level to the underside of the awning, verandah or collonade to accommodate under awning signage.
- C1.5.2** Provide continuous awnings or an alternative pedestrian protection measure along the full length of the building frontage to the primary and secondary streets.
- C1.5.3** Be setback a minimum of 600mm from the face of kerb.
- C1.5.4** Design into the awning, verandah or collonade the location of any existing and/or proposed verge tree/s.
- C1.5.5** Integrate the design of the façade with the underside of the awning, verandah or colonnade.
- C1.5.6** Awnings and verandahs must be designed to be removable.
- C1.5.7** New awnings, verandahs or collonades shall have regard to the height, depth and form of existing awnings and slope of the site.
- C1.5.8** Verandahs and collonades are only permitted where they are constructed wholly within the lot boundaries of development site.

Not Accepted

N1.5.1 Development in town centres that does not provide an awning.

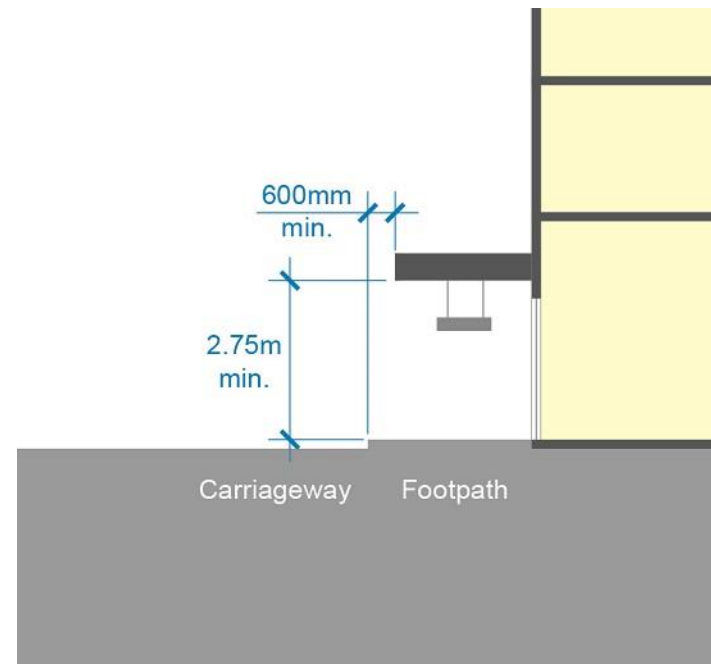


Figure C1.5 - Awnings

1.6 Building Design

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.6.1** Quality materials and detail that provide interest at a human-scale.
- P1.6.2** Design which incorporates and retains elements of the existing local character and avoids faux materials.
- P1.6.3** Articulation should be used to reduce scale and bulk.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.6.1** Façade depth a minimum of 300mm to allow space for articulation of windows, and other detailing.
- C1.6.2** Fire boosters, mail boxes and external fixtures, are to be integrated into the building design.
- C1.6.3** Traditional materials found in development in the local area are to be integrated into the design and may include:
 - Red brick;

- Limestone; and
- Timber.

- C1.6.4** The following contemporary materials may be integrated into the design:
 - Exposed aggregate concrete;
 - Terrazzo
 - Ceramics; and
 - Detailed precast concrete panels.

Not Accepted

- N1.6.1** Unarticulated monotonous facades to the street.
- N1.6.2** Reflective or tinted glass.

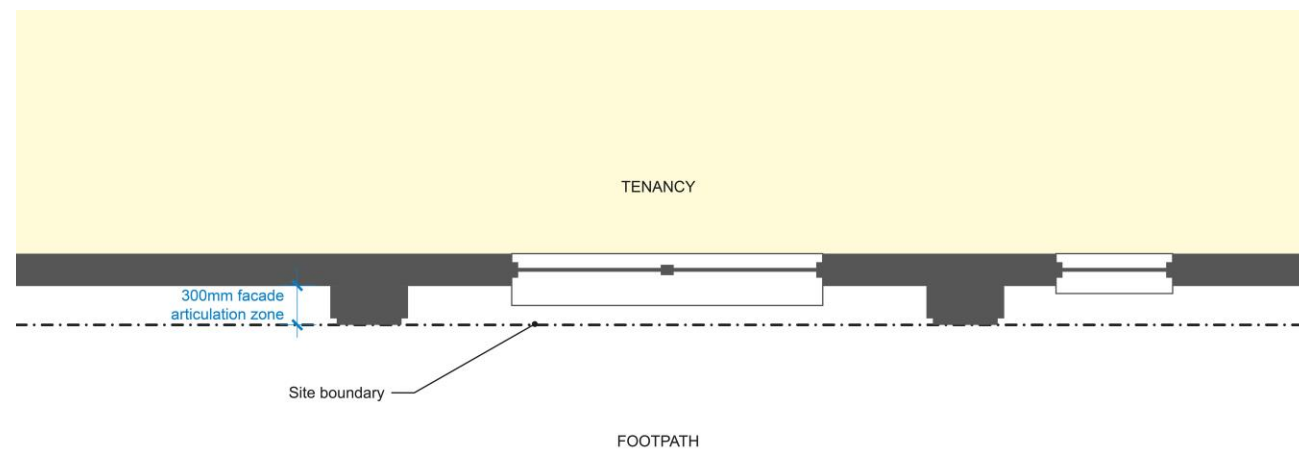


Figure C1.6.1 – Façade depth

1.7 Landscaping

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.7.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- P1.7.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings
- P1.7.3** The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.
- P1.7.4** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect .
- P1.7.5** Landscaping design which facilitates the retention of existing vegetation and deep soil zones.
- P1.7.6** Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.

- P1.7.7** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

Deemed to Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.

- C1.7.1** Deep soil zones are to be provided as follows:

Site Area	Minimum Area	Deep Soil Zone (% of site)
<650m ²	1m ²	15%
650m ² – 1,500m ²	3m ²	15%
>1,500m ²	6m ²	15%

NOTE: the minimum dimension for the area of deep soil zone is to be 1m

- C1.7.2** The required deep soil zone may be reduced to 12% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.
- C1.7.3** 80% of the rear or side setback area is to be provided as canopy coverage at maturity.
- C1.7.4** A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.

- C1.7.5** A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.
- C1.7.6** Open air car parks are to have a minimum of 80% canopy coverage at maturity.
- C1.7.7** All open-air parking areas are to be landscaped at a rate of one tree per four car bays.
- C1.7.8** The perimeter of all open-air parking areas are to be landscaped by a planting strip of at least 1.5m width.

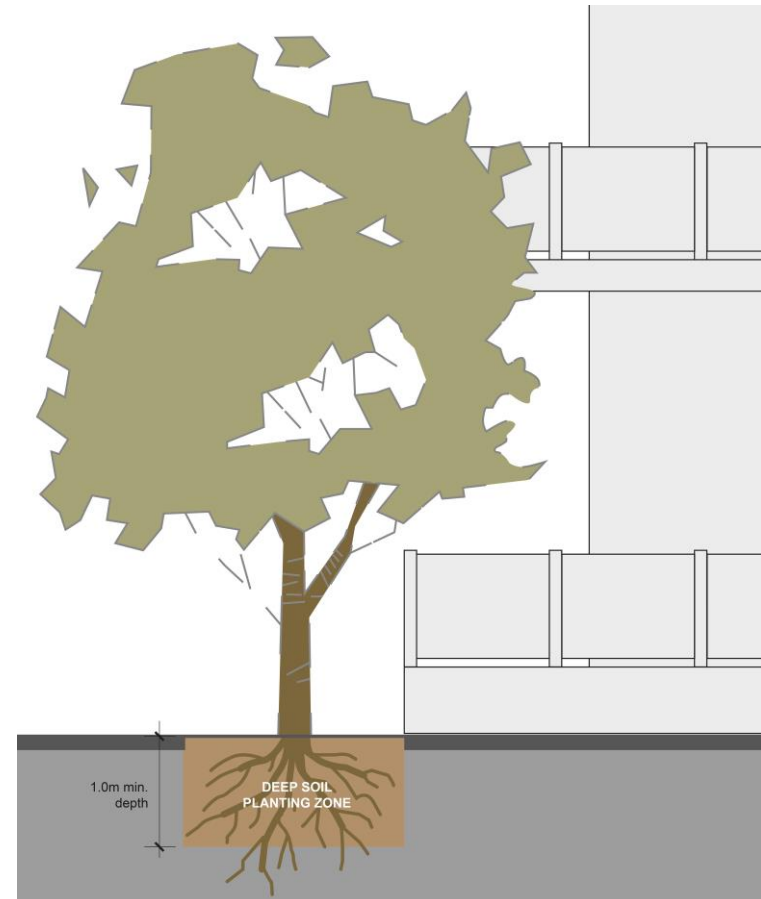


Figure 5 – Deep Soil Planting Zone

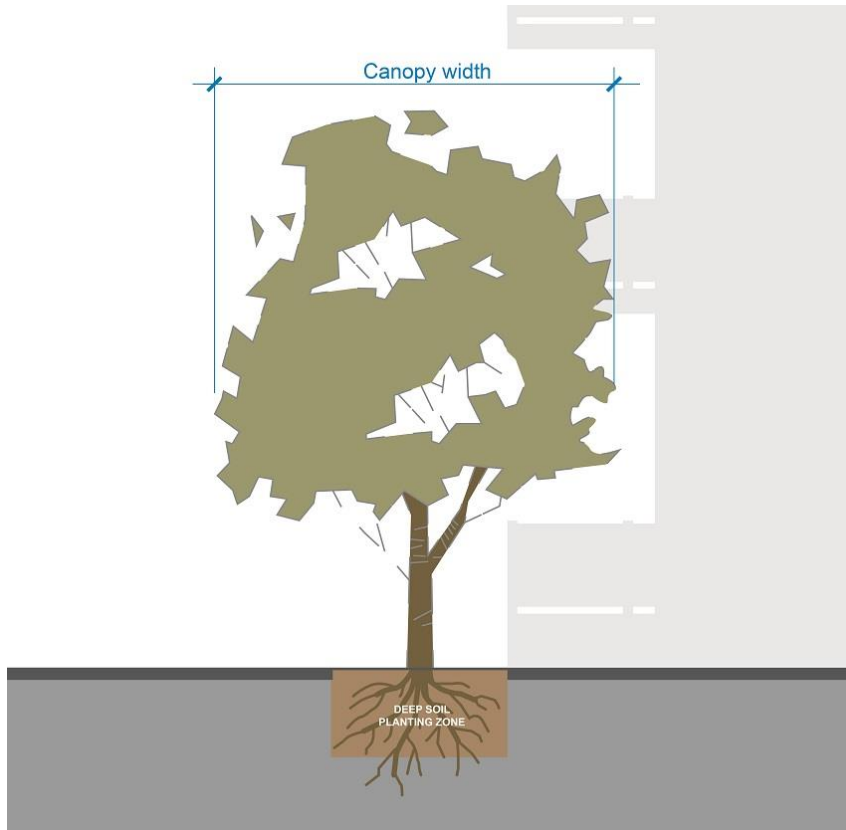


Figure C1.7.1 – Deep soil zones

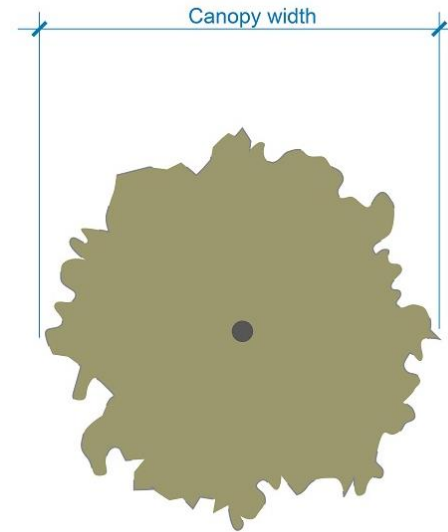
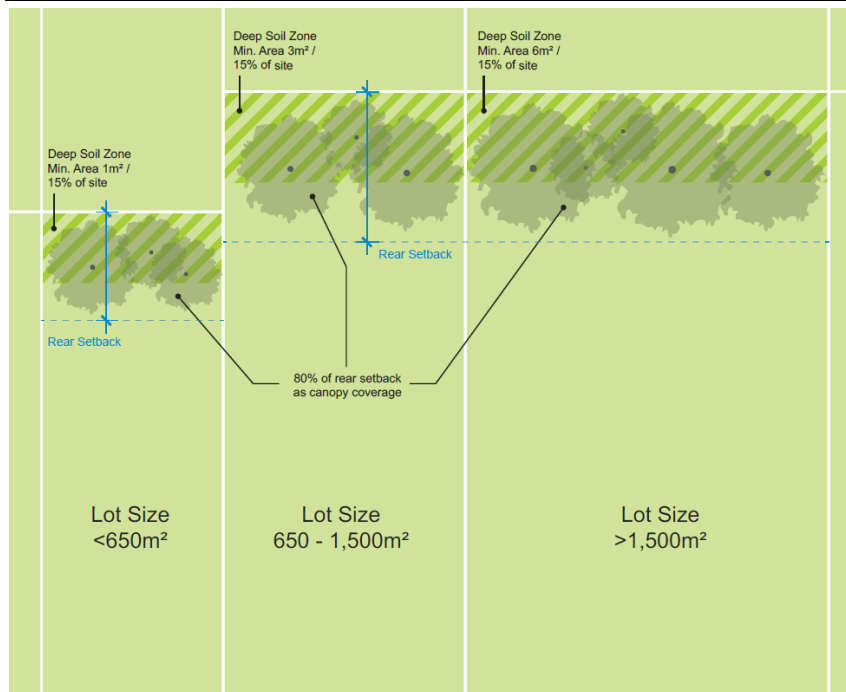


Figure 6 – Canopy Coverage



STREET

Figure 7 – Town Centre Landscaping

1.8 Environmentally Sustainable Design

Design Principles & Local Housing Objectives

Where the R Codes apply to a development the following environmentally sustainable design provisions augment the R Codes and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.

For all development that is not subject to the R Codes the following apply as Design Principles.

Development must demonstrate that:

- P1.8.1** It maximises passive solar heating, cooling, natural ventilation and light penetration to reduce energy consumption;
- P1.8.2** It is capable of recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications.
- P1.8.3** Climate moderation devices can be incorporated to reduce passive solar gain in summer and increase passive solar gain in winter.
- P1.8.4** That it is capable of achieving one of the environmental performance ratings shown in the below table, or their equivalent*.

Accepted Rating Frameworks	Specifications / compliance requirements	Minimum requirement to be achieved
Green Building Council of Australia's	current Design and As-Built rating tool	5 star Green Star rating

Green Star rating system		
or		
Life Cycle Assessment Methodologies	ISO 14044 "Environmental management – Life cycle assessment – Requirements and Guidelines" and EN15978 "Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method."	Residential component: - Global warming potential of the development over its lifetime to be reduced by 50% or more when compared to the average Australian code-compliant equivalent building built at the same time. - Water use of the development over its lifetime to be reduced by 25% or more when compared to the average Australian code-compliant equivalent building built at the same time.
		Commercial component: - Global warming potential of the development over its lifetime to be reduced by 30% or more when compared to the average Australian code-compliant

		equivalent building built at the same time. Water use of the development over its lifetime to be reduced by 15% or more when compared to the average Australian code-compliant equivalent building built at the same time.
Or equivalent*		

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

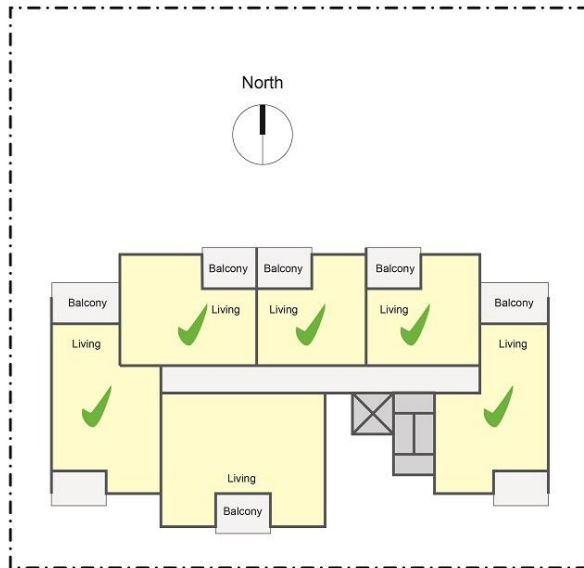


Figure C1.8.2 – Solar orientation

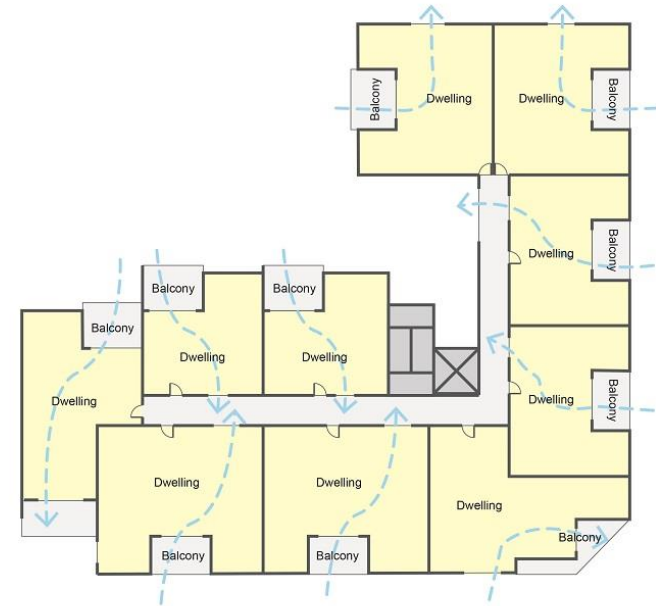


Figure C1.8.3 – Cross Ventilation

1.9 Pedestrian Access

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.2.3 and 6.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.9.1** Ground floor levels which allow dignified and equitable accessibility and unobstructed activity to flow between the development and the public realm.
- P1.9.2** Pedestrian entrances shall be clearly identified into buildings to provide a well-designed and functional public realm interface for all users.
- P1.9.3** Pedestrian entrances need to be welcoming and legible and clearly differentiated for all use types.
- P1.9.4** Levels which create a direct visual connection between passers-by and the internal occupants or users.
- P1.9.5** Provide new pedestrian links to improve permeability in local areas.
- P1.9.6** Public pedestrian links are preferred over private access links.
- P1.9.7** Open air, unenclosed laneways and courtyard/squares are preferred.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.2.3 C3.1 and 6.2.1 C1.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.9.1** Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.
- C1.9.2** Access for pedestrians which directly fronts the primary street.
- C1.9.3** Developments shall distinguish residential entries from retail and other commercial entries.
- C1.9.4** Internal ground floor level to be at grade.
- C1.9.5** Design of balustrades to be integrated into the design of the development.
- C1.9.6** Ramps are not to exceed 50% of the active frontage.

Deemed to Comply

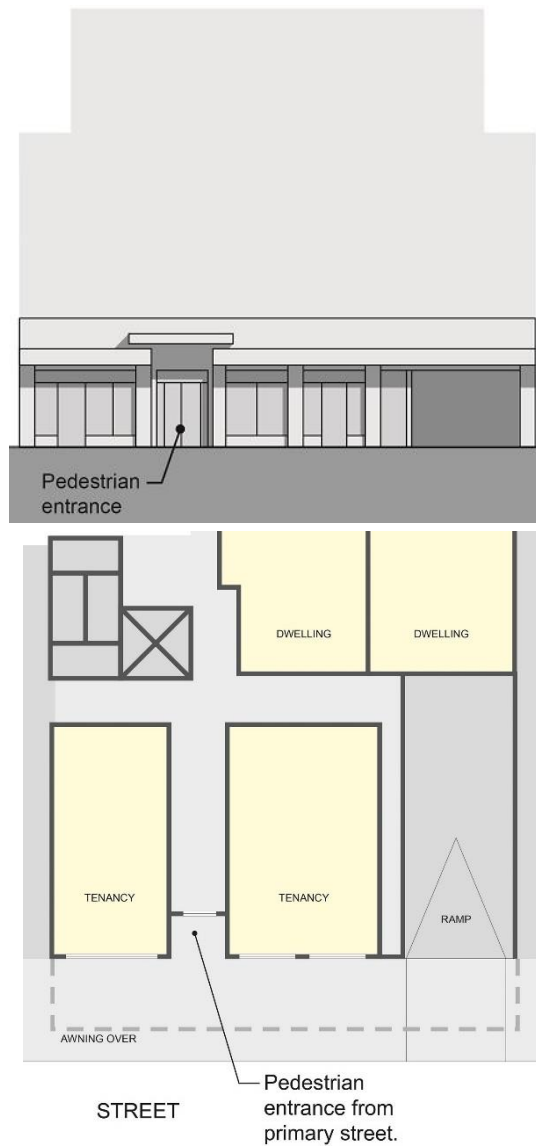


Figure C1.9 - Access

1.10 Vehicle Access & Parking

Where the R Codes apply to a development the following parking, vehicular access and parking design provisions augment clauses 5.3.3, 5.3.5, 5.3.4, 6.3.3, 6.3.4 and 6.3.5 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.

Design Principles & Local Housing Objectives

For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.10.1** Vehicle access to and from site is to be safe, manageable and convenient.
- P1.10.2** Pedestrian priority and safety is to be ensured by minimising the number, location and design of vehicle crossovers.
- P1.10.3** Minimise breaks in the street wall to maximise active frontages.
- P1.10.4** Service areas, loading bays and vehicle entrances should gain access from the Secondary Street or right of way where ever possible.
- P1.10.5** Minimise visual impact of car parking and supporting infrastructure from the primary or secondary streets.
- P1.10.6** Unobstructed sight lines provided at vehicle access points to ensure safety and visibility along vehicle access ways, streets, rights of way, communal streets, crossovers, and footpaths.
- P1.10.7** Suitable end of trip facilities should be included in the initial design of the building.

P1.10.8 Maximise the retention of existing mature vegetation through the location and design of vehicle access.

P1.10.9 Car parking which is clearly differentiated for different use types and identifiable from the street.

Deemed to Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Vehicle Access

- C1.10.1** Access to on-site car parking spaces to be provided:
 - where available, from a right of way available for lawful use to access the relevant lot and which is adequately paved and drained from the property boundary to a dedicated road;
 - from a secondary street where no right of way exists; or
 - from the primary street frontage where no secondary street or right-of way exists.
- C1.10.2** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a tight of way to make it trafficable is to be borne by the applicant.
- C1.10.3** Where vehicular access is provided from a street, all vehicles are required to enter and exit the site in forward gear.
- C1.10.4** Roller shutters and screens are to be visually permeable.

- C1.10.5** Onsite parking for a development shall be located beneath or at the rear of buildings.
- C1.10.6** In a mixed-use development, car bays should be clearly signposted differentiating between the residential car bays and the commercial car bays.
- C1.10.7** Where on-site parking provided for customer/client use is not directly visible from the adjacent street, adequate signage is to be provided to promote public knowledge of and direction to the car park. This signage is to comply with the requirements of the City's Policy relating to Signs and Advertising.
- C1.10.8** Existing trees must not be removed to provide for vehicle access.

Crossovers

- C1.10.9** Each lot is to provide a maximum of 1 crossover.
- C1.10.10** The maximum width of a single crossover is 3m. The maximum width of a double crossover is 5m.
- C1.10.11** The location of crossovers should maximize the ability to provide on-street car parking spaces.
- C1.10.12** Where a crossover meets a pedestrian path there must be clear communication of pedestrian priority.
- C1.10.13** Crossovers must be setback a minimum of 0.5m from the lot boundary.

Not Accepted

- N1.10.1** Entirely opaque roller doors or screens.

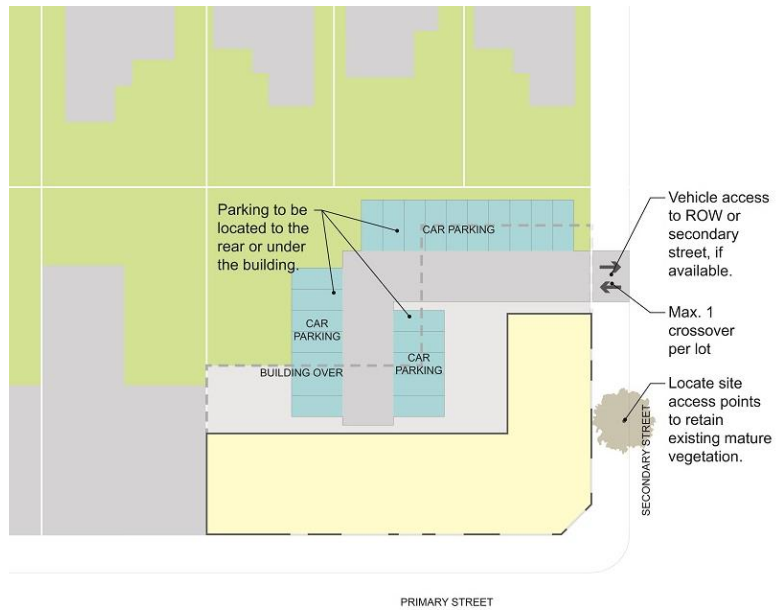


Figure C1.10 – Vehicle Access and Parking

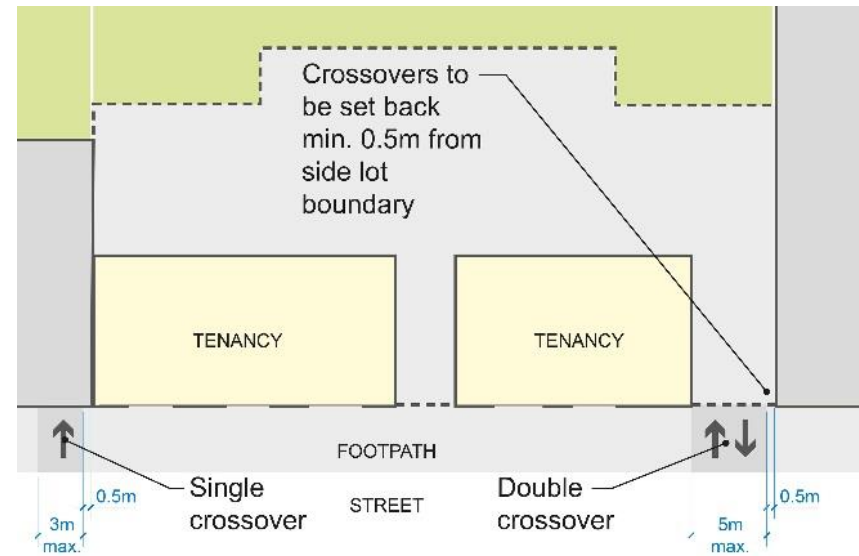


Figure C1.10.9 – C1.10.13 - Crossovers

1.11 Service Areas & External Fixtures

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4, 5.4.5, 6.4.5 and 6.4.6 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.11.1** Service areas and external fixtures shall be easily maintained, adequate and attractive and should be incorporated into the overall design of buildings and support renewable energy initiatives.
- P1.11.2** Developments should provide adequate waste storage facilities for each dwelling and/or commercial premises and this should be considered at the early stage of the design process.
- P1.11.3** New development should consider the undergrounding of power supply in order to improve the streetscape and provide space for increased landscaping, canopy coverage and development.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.11.1** Development must comply with Western Power Corporation Easements and Restriction Zones.

- C1.11.2** External fixtures are required to be concealed from the street and surrounding properties, located on the roof, basement or at the rear of the development.

- C1.11.3** External fixtures are permitted where they are:
 - not visible from the street and surrounding properties; or
 - integrated with the design of the building.

- C1.11.4** If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:

- continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or
- a surface offering equal or more obstruction to view which does not compromise ventilation.

Where the R Codes apply to a development the following provisions augment clauses 5.4.5 C5.2 and 6.4.6 C6.2 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.11.5** Where there is an increased waste requirement, an area for waste management must be provided in accordance with the City's Waste Requirement Guidelines.

- C1.11.6** For any development a waste management plan must be provided which is to include information relating to the ability to adapt the waste storage spaces for any future increases in waste management requirements.

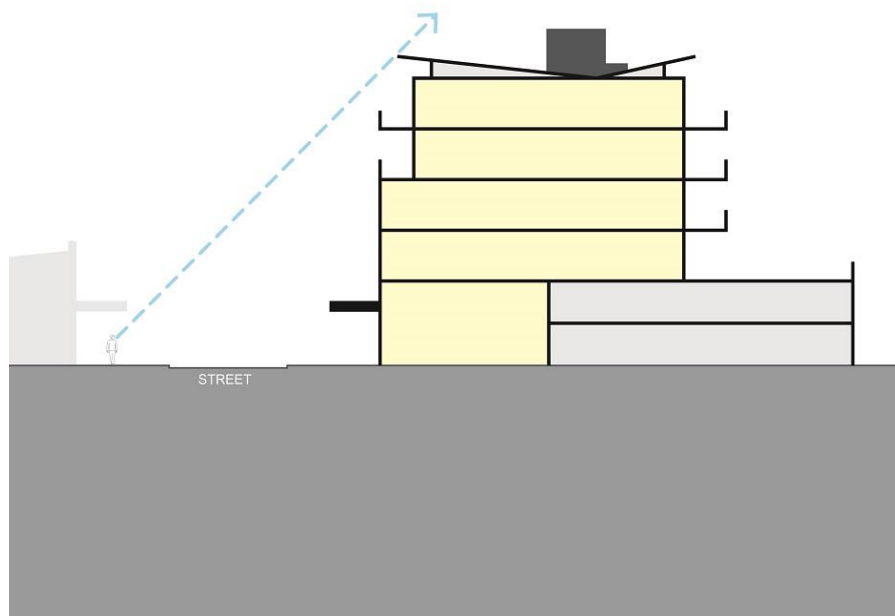


Figure C1.11 – External Fixtures

Section 2 – Activity Corridors

Part 2 Section 2 of this Policy applies to Activity Corridors as shown in Figure 1 – Built Form Areas.

2.1 Building Height

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P2.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P2.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P2.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P2.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P2.1.5** The City may approve development which exceeds the maximum height stated in Table 2 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P2.1.1 – P2.1.4.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 51.6 and 6.1.2 of the R Codes. For

all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C2.1.1** Development that is consistent with the building heights provided in Table 2 and Figure 2.
- C2.1.2** External fixtures may extend beyond the maximum height in Table 2 and Figure 2 where they are not visible from the street or neighbouring properties.
- C2.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

TABLE 2: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

- 2.2.1** All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

Section 3 – Mixed Use

Part 2 Section 3 of this Policy applies to Mixed Use Areas as shown in Figure 1 – Built Form Areas.

3.1 Building Height

all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P3.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P3.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P3.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P3.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P3.1.5** The City may approve development which exceeds the maximum height stated in table 3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P3.1.1 – P3.1.4.

- C3.1.1** Development that is consistent with the building heights provided in Table 3 and Figure 2.
- C3.1.2** External fixtures may extend beyond the maximum height in Table 3 and Figure 2 where they are not visible from the street or neighbouring properties.
- C3.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 5.1.6 and 6.1.2 of the R Codes. For

TABLE 3: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Area bounded by Summers St, Lord St,						

Graham Farmer Freeway and East Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

Section 4 – Transit Corridors

Part 2 Section 4 of this Policy applies to Transit Corridors as shown in Figure 1 – Built Form Areas.

4.1 Building Size

- 4.1.1** Where Part 5 of the R Codes applies, and for all other development, no provisions apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.1.1 of the R Codes apply.

4.2 Building Height

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P4.2.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P4.2.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P4.2.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P4.2.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P4.2.5** The City may approve development which exceeds the maximum height stated in table 4 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P4.2.1 – P4.2.4.

all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C4.2.1** Development that is consistent with the building heights provided in Table 4 and Figure 2.
- C4.2.2** External fixtures may extend beyond the maximum height in Table 4 and Figure 2 where they are not visible from the street or neighbouring properties.
- C4.2.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For

TABLE 4: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Top of external wall (roof above)	Maximum Building Height			
			Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

Transit Corridors	Maximum No. of Storeys		Maximum Building Height			
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
William Street (Vincent St to Walcott St)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

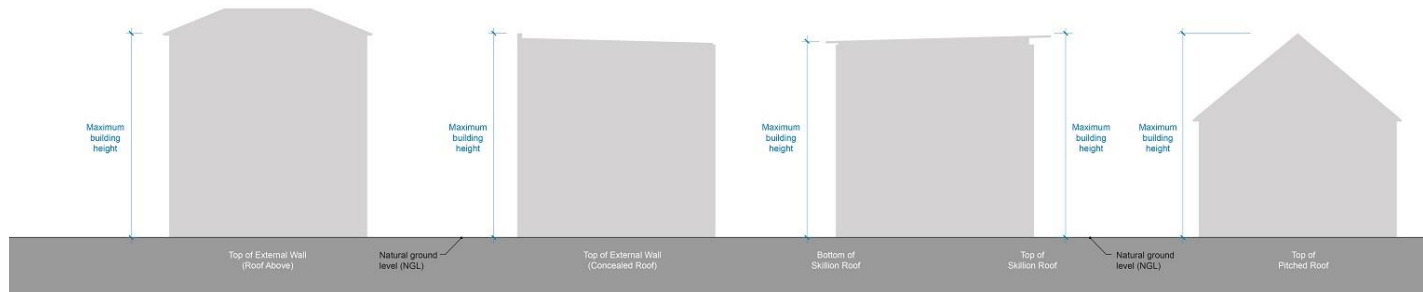


Figure C4.2.1 – Building Height and Measurement

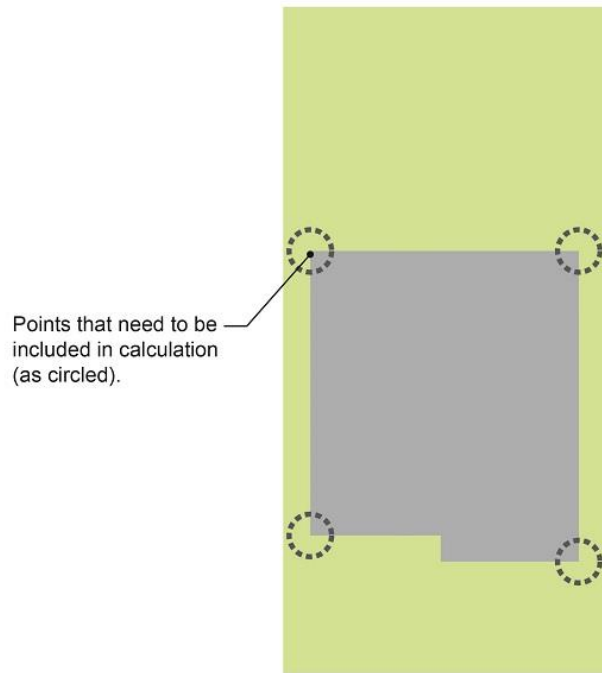


Figure 3 - Average Natural Ground Level Calculation

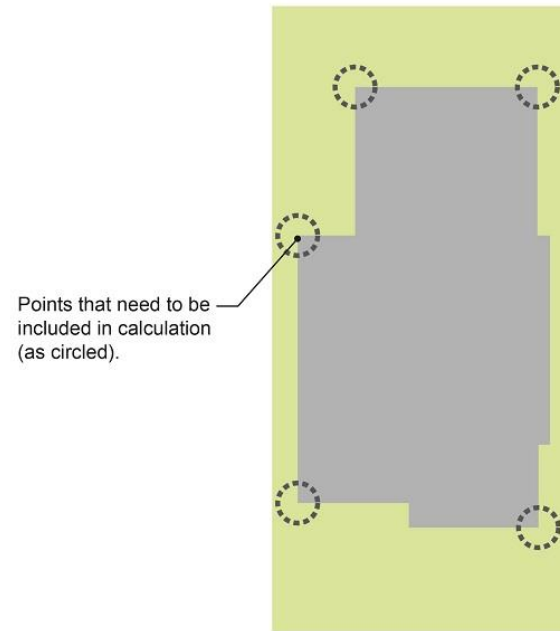


Figure 4 - Average Natural Ground Level Calculation

4.3 Setbacks

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P4.3.1** Development which incorporates design elements that reduce the impact of building bulk.
- P4.3.2** Development which maximises natural light access, natural ventilation, internal and external privacy.
- P4.3.3** Setbacks that facilitate the provision of landscaping.
- P4.3.4** Development which activates and addresses rights of way.

Deemed to Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C4.3.1** Where Part 5 of the R Codes applies the primary and secondary street setback is as per Clause 5.1.2. Where Part 6 of the R Codes applies, and for all other development, the primary and secondary street setback is as per Clause 6.1.3 in the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4.

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C4.3.2** Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 C3.1, 6.1.4 C4.1 and 6.1.4 C4.2 of the R Codes.

Setbacks Adjoining Non-Residential Built Form Areas

- C4.3.3** Side boundary setbacks as per Clause 5.1.3 and 6.1.4 in the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

- C4.3.4** Rear boundary setbacks for Residential, Mixed-Use and Commercial buildings are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Setbacks Adjoining Residential Built Form Areas

C4.3.5 Lot boundary setbacks adjoining properties coded R60 and above are:

- Ground floor and second storey is 4.5m; and
- third storey and above 6.5m;

unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

C4.3.6 Lot boundary setbacks adjoining properties coded R50 and below are:

- Ground floor and second storey is 6.5m; and
- third storey and above 12.5m;

unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Development Adjoining Rights of Way

C4.3.7 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

C4.3.8 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

Not Accepted

N4.3.1 Non-compliance with lot boundary setback provisions where the site adjoins land coded R40 and below.

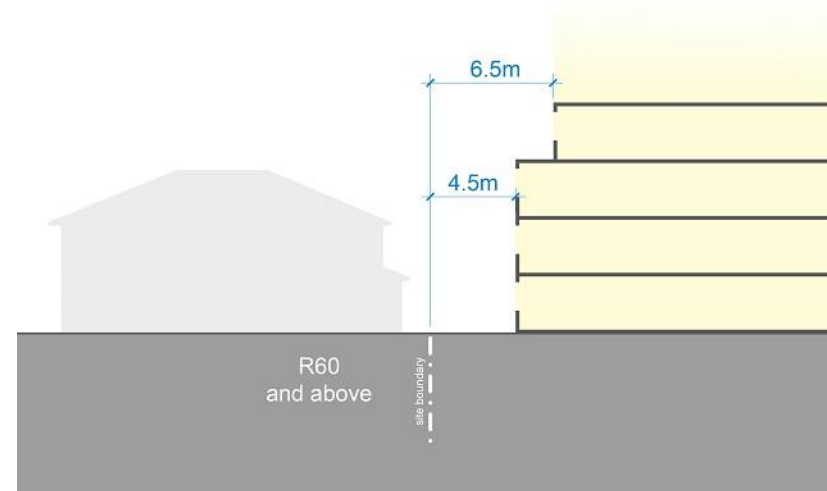


Figure C1.2.5 - Lot boundary setbacks adjoining properties coded R60 and above.

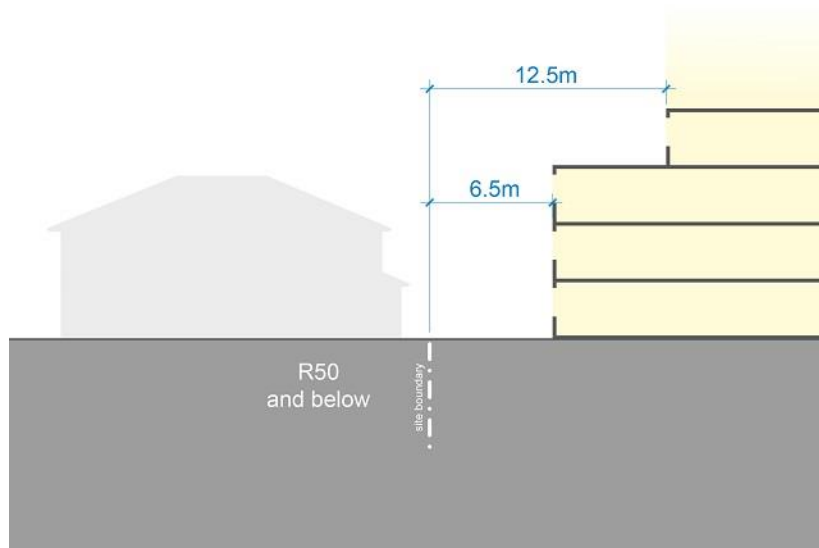


Figure C1.2.6 - Lot boundary setbacks adjoining properties coded R50 and below

4.4 Open Space

- 4.4.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.1.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.1.5 of the R Codes apply.

4.5 Street Surveillance

- 4.5.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.1 of the R Codes apply.

4.6 Street Walls and Fences

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P4.6.1** Front fences and walls which enable surveillance and enhance streetscape.
- P4.6.2** Development which adds interest to the street and minimises blank facades.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C4.6.1** Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area.
- C4.6.2** Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:

- (a) Maximum height of 1.8 metres above the natural ground level;
- (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
- (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
- (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
- (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.

C4.6.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:

- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
- (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.

C4.6.4 Exposed boundary walls visible to the street are to incorporate the following design features:

- Indentations;

- Varying heights;
- Varying materials, colours and textures; or
- Public artwork.

C4.6.5 Any proposed vehicular or pedestrian entry gates shall be visually permeable.

C4.6.6 Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

Not Accepted

N4.6.1 Street walls, fences and gates constructed from fibre cement are not acceptable.

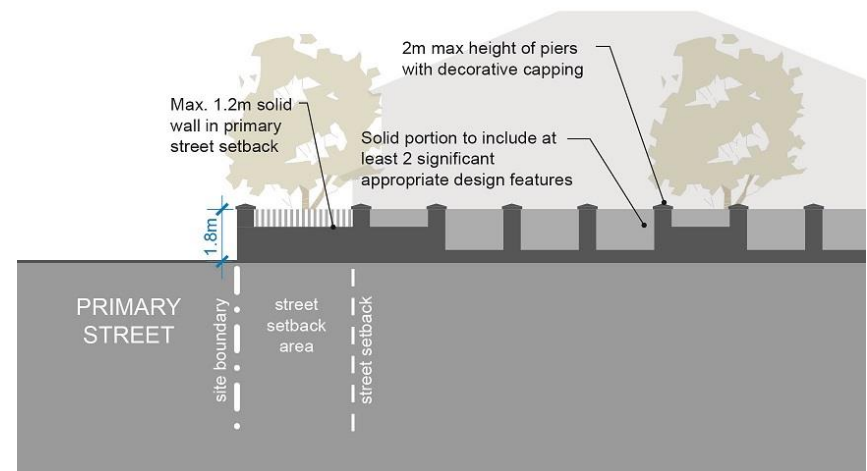


Figure C4.6 – Street walls and fences

4.7 Sight lines

- 4.7.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.3 of the R Codes apply.

4.8 Building Appearance

- 4.8.1** Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.4 of the R Codes apply.

4.9 Outdoor living areas

- 4.9.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.1 of the R Codes apply.

4.10 Landscaping

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P4.10.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- P4.10.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- P4.10.3** The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.
- P4.10.4** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- P4.10.5** Landscaping design which facilitates the retention of existing vegetation and deep soil zones.
- P4.10.6** Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.

- P4.10.7** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

Deemed-To-Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.

- C4.10.1** Deep soil zones are to be provided as follows:

Site Area	Minimum Area	Deep Soil Zone (% of site)
<650m ²	1m ²	15%
650m ² – 1,500m ²	3m ²	15%
>1,500m ²	6m ²	15%

NOTE: the minimum dimension for the area of deep soil zone is to be 1m

- C4.10.2** 50% of the front setback to be provided as soft landscaping.
- C4.10.3** The required deep soil zone may be reduced to 12% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.
- C4.10.4** 30% of the site area is to be provided as canopy coverage within at maturity.

- C4.10.5** A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.
- C4.10.6** A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.
- C4.10.7** Open air car parks are to have a minimum of 80% canopy coverage at maturity.
- C4.10.8** All open-air parking areas are to be landscaped at a rate of one tree per four car bays.
- C4.10.9** The perimeter of all open-air parking areas are to be landscaped by a planting strip of at least 1.5m width.

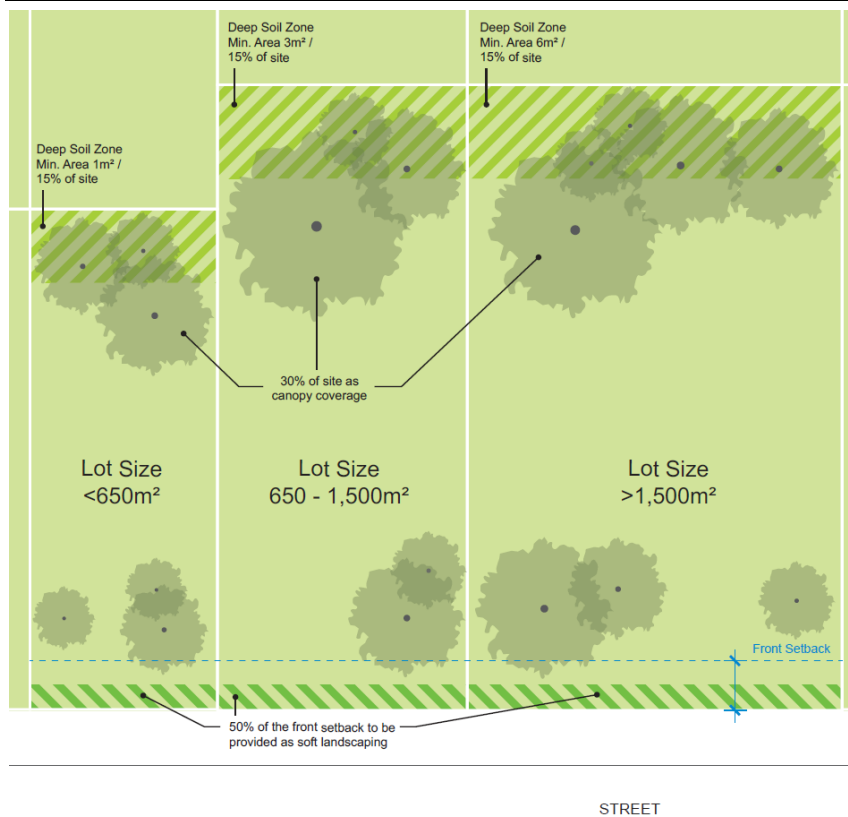


Figure 8 – Transit Corridor Landscaping

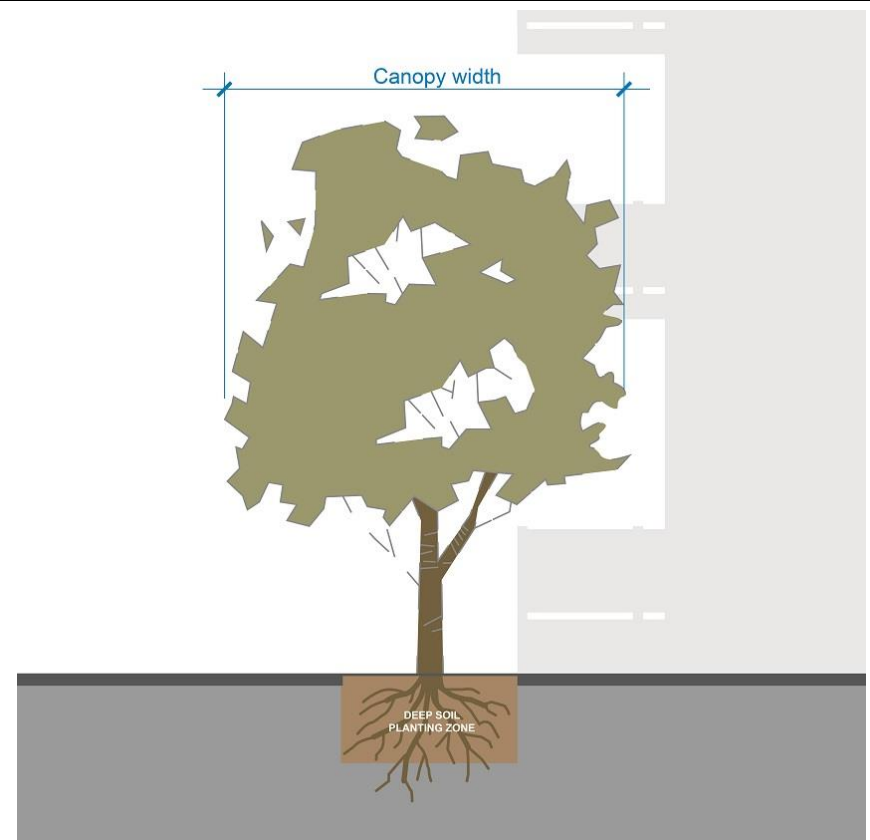


Figure C4.10.1 & C4.10.4 – Deep Soil & Canopy Width

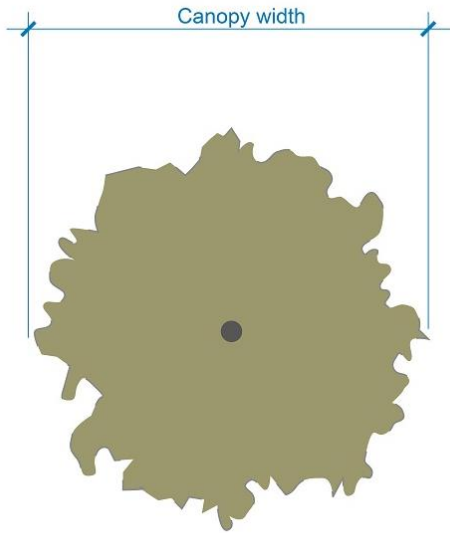


Figure 6 – Canopy Coverage

4.11 Parking

4.11.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.

4.12 Design of Car Parking Spaces

4.12.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.

4.13 Vehicular Access

4.13.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.

4.14 Site Works

4.14.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.

4.15 Retaining Walls

4.15.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.

4.16 Stormwater Management

4.16.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.

4.17 Visual Privacy

4.17.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes apply. Where Part 6 of the R Codes applies, and

for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.

4.18 Solar Access for adjoining sites

4.18.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.

4.19 Dwelling Size

4.19.1 Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.3 of the R Codes apply.

4.20 Outbuildings

4.20.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.

4.21 External Fixtures

Design Principles

P4.21.1 Where Part 5 of the R Codes applies all Design Principles of clause 5.4.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles of clause 6.4.5 of the R Codes apply.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C4.21.1** External fixtures are permitted where they are:
- not visible from the street and surrounding properties; or
 - integrated with the design of the building.
- C4.21.2** If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:
- continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or
 - a surface offering equal or more obstruction to view which does not compromise ventilation.

C4.21.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.

Not Accepted

N4.21.1 External fixtures are not permitted to protrude above the roofline.

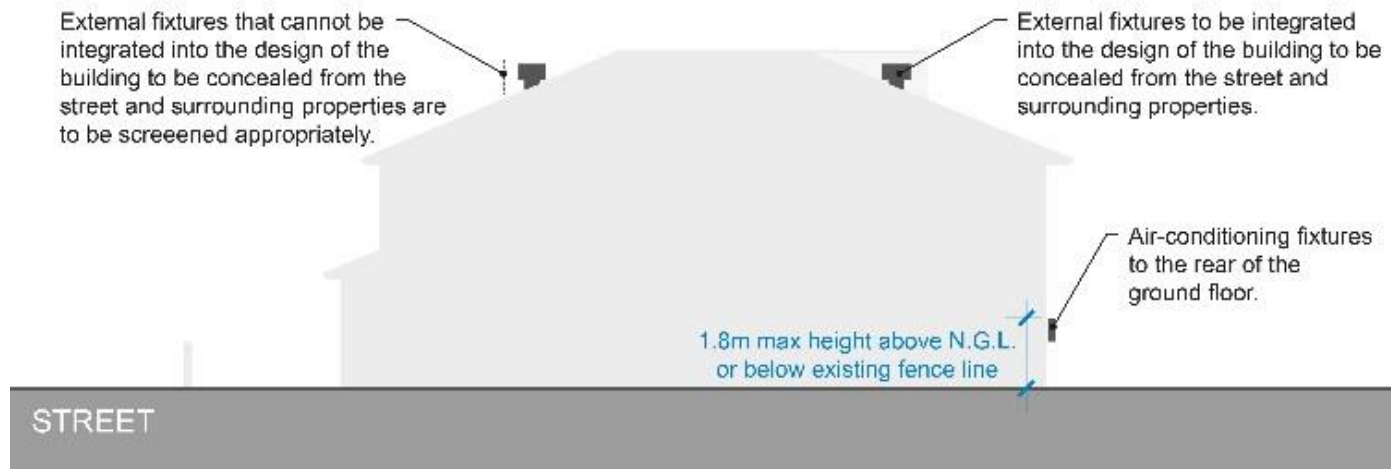


Figure C4.21 – External Fixtures

4.22 Utilities and Facilities

4.22.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.6 of the R Codes apply.

4.23 Environmentally Sustainable Design

4.23.1 All Design Principles and Local Housing Objectives of clause 1.8 of Part 2 Section 1 of this Policy apply to all development with the exception of the erection or extension of single houses or grouped dwellings.

Section 5 - Residential

Part 2 Section 5 of this Policy applies to Residential Areas as shown in Figure 1 – Built Form Areas.

5.1 Site Area

- 5.1.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.2 Street Setback

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.2.1** Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.
-

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.2 C2.1 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Street setback

- C5.2.1** The primary street setback is to be the average of the five properties adjoining the proposed development.

Dual frontage

- C5.2.2** The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.

5.3 Lot Boundary Setback

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P5.3.1 Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.

Deemed-to-Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 C3.2 and 6.1.4 C4.1 of the R Codes.

C5.3.1 Walls may be built up to two lot boundaries, where it does not affect two boundaries of the same lot, behind the street setback within the following limits and subject to the overshadowing provisions of Clause 5.23.

- i. where the wall abuts an existing or simultaneously constructed wall of similar or greater dimension;

- ii. in areas coded R20 and R25, walls not higher than 3.5m with an average of 3m or less, up to a maximum length of the greater of 9m or one-third the length of the balance of the lot boundary behind the front setback;
- iii. in areas coded R30 and higher, walls not higher than 3.5m with an average of 3m or less, for two-thirds the length of the balance of the lot boundary behind the front setback; or
- iv. where both the subject site and the affected adjoining site are created in a plan of subdivision submitted concurrently with the development application.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 C3.2, 6.1.4 C4.1 and 6.1.4 C4.2 of the R Codes.

C5.3.2 Rear boundary setbacks for development adjoining R60 and above are:

- Ground floor, second and third storey is 4.5m; and
 - fourth storey and above 6.5m;
- unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

C5.3.3 Rear boundary setbacks for development adjoining R50 and below are:

- Ground floor, second and third storey is 6.5m; and
 - fourth storey and above 12.5m;
- unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

C5.3.4 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

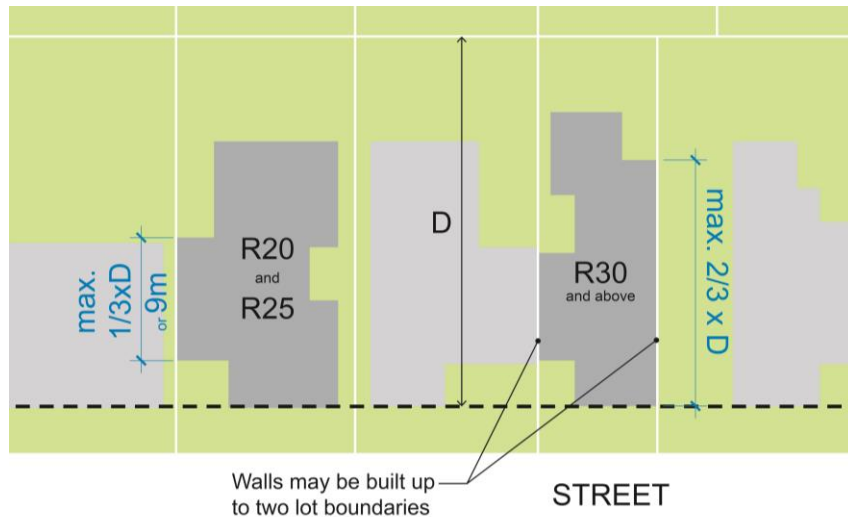


Figure 5.3 – Residential lot boundary setbacks

5.4 Open Space

- 5.4.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.1.5 of the R Codes apply.

5.5 Communal Open Space

- 5.5.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.5 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.6 Building Height

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.6.1** Buildings which respond and contribute to neighbourhood context and streetscape character, and do not overwhelm or dominate existing development.
- P5.6.2** Design which is complimentary to existing developments.
- P5.6.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P5.6.4** Design which minimises overlooking and overshadowing.
- P5.6.5** Development which preserves and enhances the visual character of the existing streetscape by considering building bulk and scale.
- P5.6.6** The City may approve development which exceeds the maximum height stated in table 5 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P5.6.1 – P5.6.5.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C5.6.1** Development that is consistent with the building heights provided in Table 5 and Figure 2.

TABLE 5: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

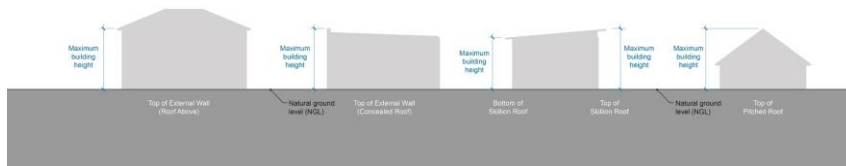


Figure C5.6.1 – Residential Building Heights

Points that need to be included in calculation (as circled).

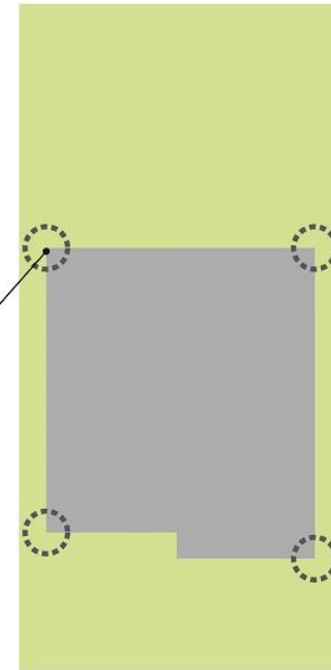


Figure 3 - Average Natural Ground Level Calculation

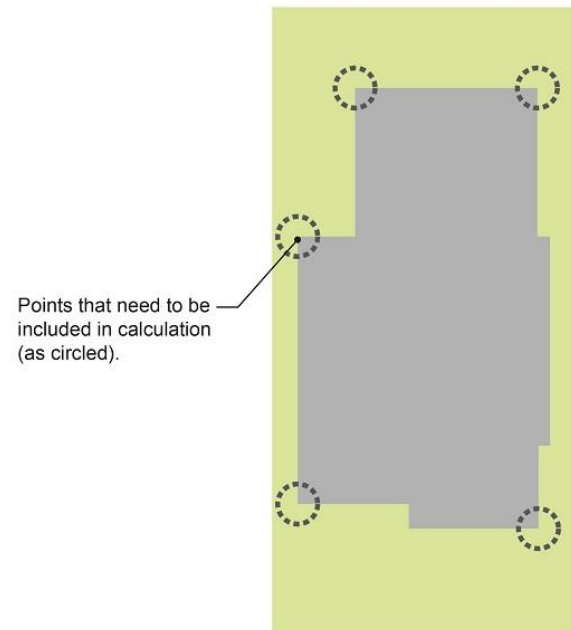


Figure 4 - Average Natural Ground Level Calculation

5.7 Setback of Garages and Carports

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.7.1** The setting back of carports and garages to maintain clear sight lines along the street and not to detract from the streetscape or appearance of dwellings; or obstruct views of dwellings from the street and vice versa.
- P5.7.2** Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale, setbacks and design.
-

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Clause 5.2.1 C1.1, 5.2.1 C1.2 and 5.2.1 C1.5 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C5.7.1** Vehicular access to car parking, carports and garages from the street are subject to compliance with clause 5.3.5 of the R Codes.
- C5.7.2** Garages are to be setback a minimum of 500mm behind the building line of the dwelling.
- C5.7.3** Carports shall be setback in accordance with Clause 5.2.1 C1.2 of the R Codes.
-

- C5.7.4** Garages and carports must match the existing dwellings predominant colour, scale and materials and must be complementary and subservient to the dwelling.
- C5.7.5** Carports must provide an unobstructed view to major openings of the dwelling from the street. Gates or doors to carports are required to be visually permeable.
- C5.7.6** Carports shall allow light and ventilation to the major openings of the dwelling.
- C5.7.7** The total width of any carport within the street setback area is not to exceed 50 per cent of the frontage (including strata lots) of the lot or six metres whichever is the lesser.
-

Not Accepted

- N5.7.1** Roller doors and/or gates on any carports located within the street setback area which are not visually permeable.

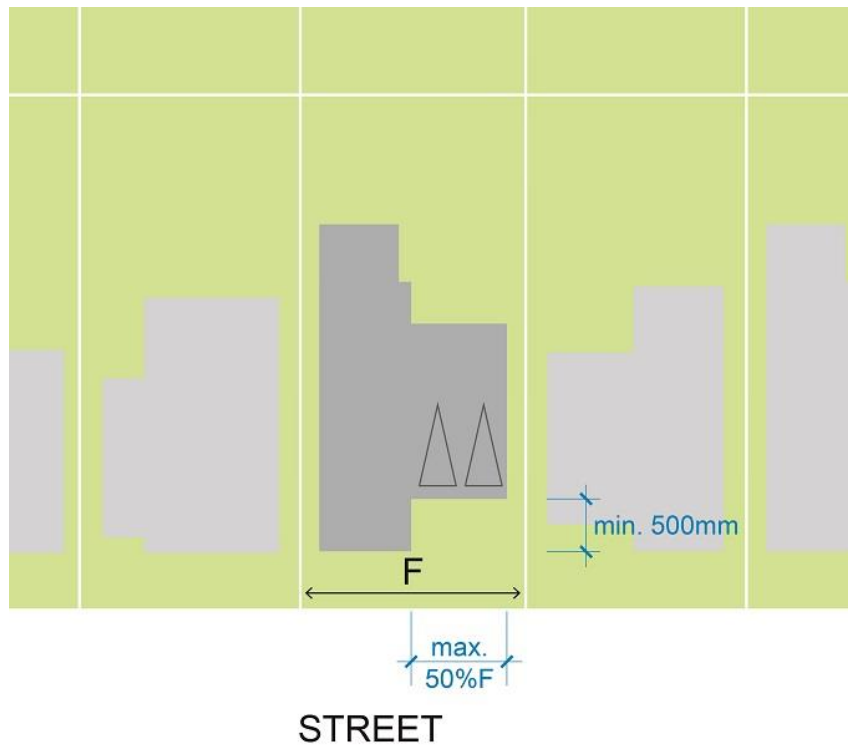


Figure C5.7.3 – Garage Street Setback

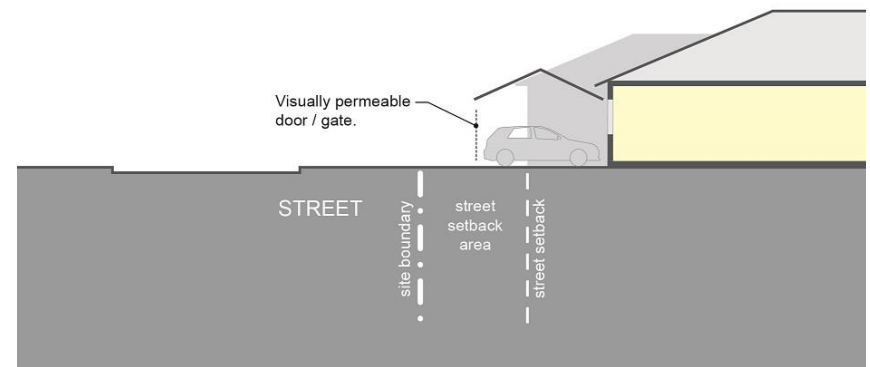


Figure C5.7.4 – Carports within Street Setback

5.8 Garage Width

- 5.8.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.2 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.
- .

5.9 Street Surveillance

Design Principles & Local Housing Objectives

P5.9.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles of clause 6.2.1 of the R Codes apply.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.2.3 C3.2 and 6.2.1 C1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C5.9.1 The primary street elevation of the dwelling is to address the street and shall include the main entry (front door) to the dwelling.

Sites which abut a right-of-way and do not designate another primary street shall address the right-of-way as though it were its primary street for the purposes of this clause.

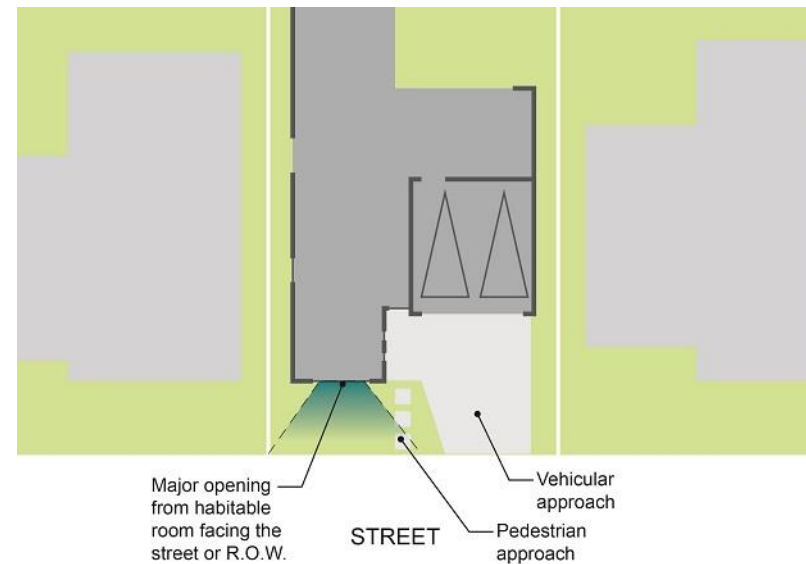


Figure C5.9.1 – Street Surveillance

5.10 Street Walls and Fences

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P5.10.2 Development which preserves and enhances the visual character of the existing streetscape by considering bulk, scale, setbacks, design, relationship between the private and public domain, and fencing styles.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C5.10.1 Street walls, fences and gates are to be of a style and materials compatible with those of the dwelling on site and/or walls, fences and gates of the immediate surrounding area.

C5.10.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:

- (a) Maximum height of 1.8 metres above the natural ground level;
- (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;

- (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
- (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
- (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.

C5.10.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:

- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
- (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.

Note: The measurement of street walls, fences and gates is to include any retaining walls and is to be measured from the natural ground level immediately below the base of the wall to the top of the wall above, within the development site. In the case of primary street frontage the measurement of street walls, fences and gates is to be measured from the natural ground level of the footpath immediately below the base of the wall to the top of the wall above.

C5.10.4 Walls, fences and gates on the side boundaries within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

Not Accepted

N5.10.1 Street walls, fences and gates constructed from fibre cement are not acceptable in the primary street setback area.

N5.10.1 Street walls, fences and gates made of metal sheeting.

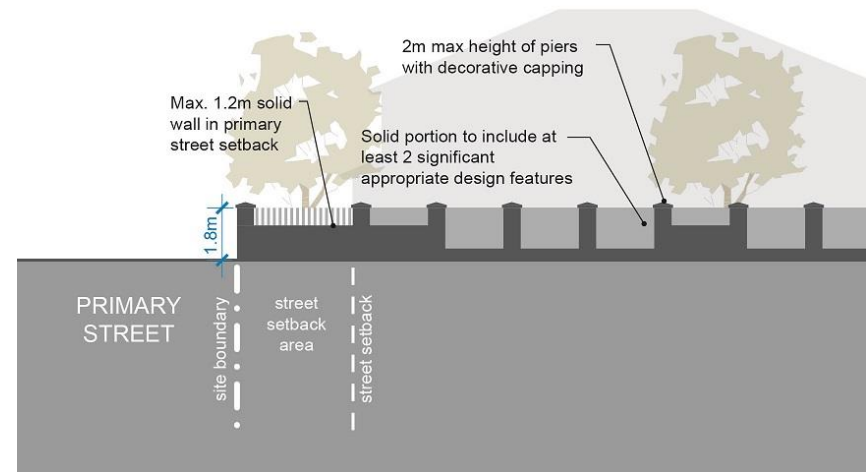


Figure C5.10 – Street Walls and Fences

5.11 Sight Lines

- 5.11.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.2.2 of the R Codes apply.

5.12 Appearance of Retained Dwelling

- 5.12.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.6 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.13 Outdoor Living Areas

- 5.13.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.3.1 of the R Codes apply..

5.14 Landscaping

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.14.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- P5.14.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- P5.14.3** The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.
- P5.14.4** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- P5.14.5** Landscaping design which facilitates the retention of existing vegetation and deep soil zones.
- P5.14.6** Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.

- P5.14.7** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

Deemed-To-Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.

New Dwellings

- C5.14.1** Deep soil zones are to be provided as follows:

Site Area	Minimum area	Deep Soil Zone (% of site)
<650m ²	1m ²	15%
650m ² – 1,500m ²	3m ²	15%
>1,500m ²	6m ²	15%

NOTE: the minimum dimension for the area of deep soil zone is to be 1m

- C5.14.2** The required deep soil zone may be reduced to 12% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.
- C5.14.3** 30% of the site area is to be provided as canopy coverage at maturity.

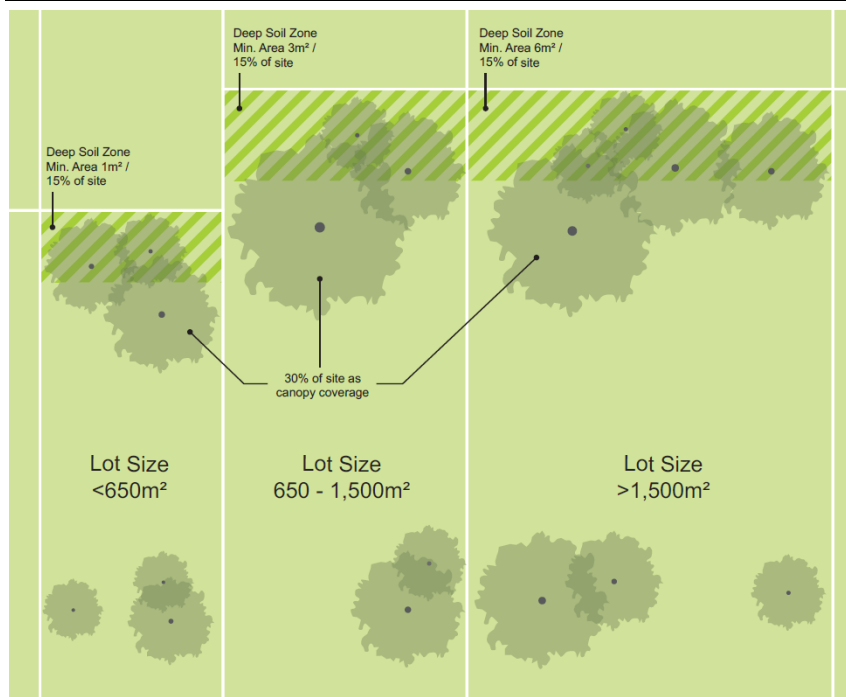
Multiple Dwellings

- C5.15.4** In addition to Clauses C5.14.1 – C5.14.3 the following Clauses C5.14.5 – C5.14.9 also apply to the development of Multiple Dwellings.
- C5.14.5** A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.
- C5.14.6** A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.
- C5.14.7** Open air car parks are to have a minimum of 80% canopy coverage at maturity.
- C5.14.8** All open-air parking areas are to be landscaped at a rate of one tree per four car bays.
- C5.14.9** The perimeter of all open-air parking areas are to be landscaped by a planting strip of at least 1.5m width.

Additions and Alterations to all buildings

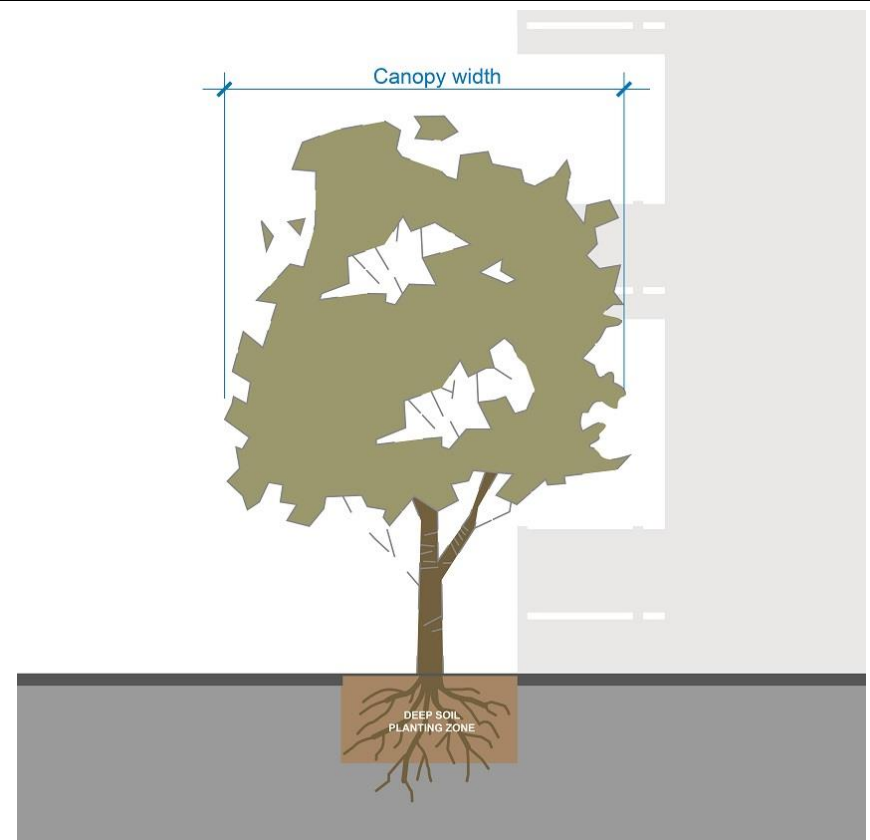
- C5.14.10** Where any additions or alterations to a building is proposed, 30% of the front setback area is to be provided as canopy coverage within 5 years of development approval, unless an existing mature tree

with equivalent coverage is retained anywhere on the site.



STREET

Figure 9 – Residential Landscaping



C5.14.1 & C5.14.3 – Deep Soil & Canopy Width

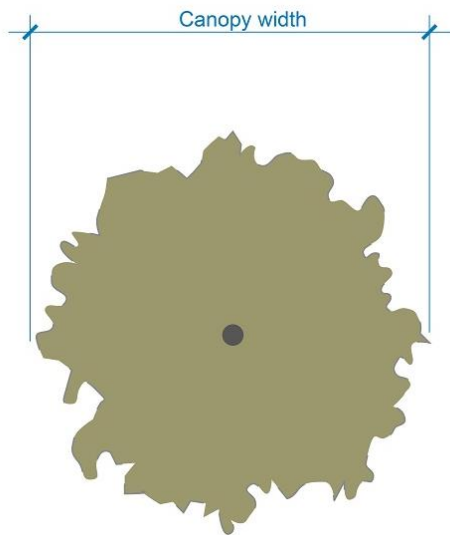


Figure 6 – Canopy Coverage

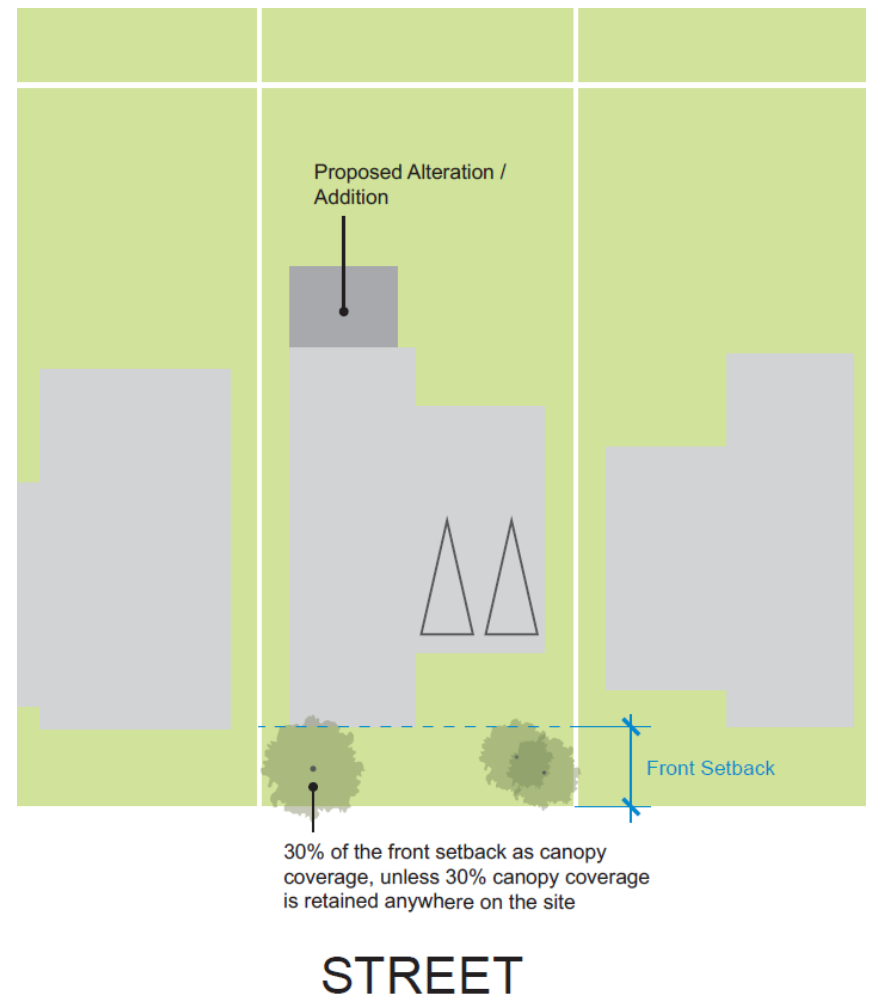


Figure C5.14.10 – Additions and Alterations

<p>5.15 Parking</p>	<p>Where Part 6 of the R Codes applies no provisions apply.</p>
<p>5.15.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.</p>	<p>5.19 Site Works</p> <p>5.19 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.</p>
<p>5.16 Design of Car Parking Spaces</p>	<p>5.20 Retaining Walls</p>
<p>5.16.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.</p>	<p>5.20.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.</p>
<p>5.17 Vehicular Access</p>	<p>5.21 Stormwater Management</p>
<p>5.17.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.</p>	<p>5.21.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.</p>
<p>5.18 Pedestrian Access</p>	<p>5.22 Visual Privacy</p>
<p>5.18.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.6 of the R Codes apply.</p>	<p>5.22.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes</p>

apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.

5.23 Solar Access for Adjoining Sites

5.23.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.

5.24 Outbuildings

5.23.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.

5.25 External Fixtures

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4 and 6.4.6 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P5.25.1 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale and design.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C5.25.1 External fixtures are permitted where they are:

- not visible from the street and surrounding properties; or
- integrated with the design of the building.

C5.25.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:

- continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum

of three quarters of the total surface area in aggregate; or

- a surface offering equal or more obstruction to view which does not compromise ventilation.

C5.25.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.

Not Accepted

N5.25.1 External fixtures are not permitted to protrude above the roofline.

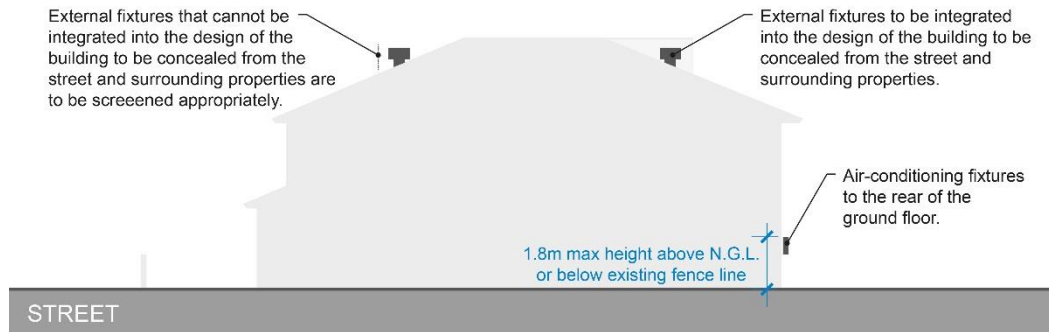


Figure 5.25 – External Fixtures

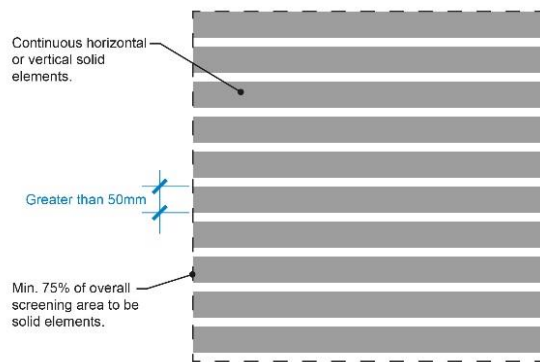


Figure C5.25.2 – Screening of External Fixtures

5.26 Utilities and Facilities

development with the exception of the erection or extension of single houses or grouped dwellings.

- 5.26.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.6 of the R Codes apply.

5.27 Ancillary Dwellings

- 5.27.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.28 Aged or Dependent Persons' Dwellings

In accordance with the City's Local Planning Policy No. 7.4.2 - Aged or Dependent Persons' Dwellings.

5.29 Single Bedroom Dwellings

- 5.29.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.3 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.30 Environmentally Sustainable Design

- 5.30.1** All Design Principles and deemed-to comply criteria of clause 1.8 of Part 2 Section 1 of this Policy apply to all

5.31 Development on Rights of Way

Design Principles

- P5.31.1** Design development which appropriately addresses rights of way to facilitate spaces which are welcoming and safe for residents and visitors.
- P5.31.2** Development which provides appropriate pedestrian access to a dedicated road with suitable space for service areas and waste management.

Deemed-to-Comply

- P5.31.1** Development on rights of ways is to be in accordance with the Western Australian Planning Commission's Planning Bulletin 33 Rights of Way or Laneways in Established Areas – Guidelines.

Orientation

- C5.31.2** Where a dwellings' primary street frontage is a right of way, or where no primary street or secondary street frontage exists, it is to be oriented to address the right of way using clearly defined entry points and major openings as if it were a primary street.

Setbacks

The following setback provision is subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

- C5.31.3** Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied.

Access

- C5.31.4** Each lot that does not have direct frontage to a dedicated road is to be provided with a pedestrian access way to a dedicated road. The width of the pedestrian access way is to be 1.5 metres.
- C5.31.5** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

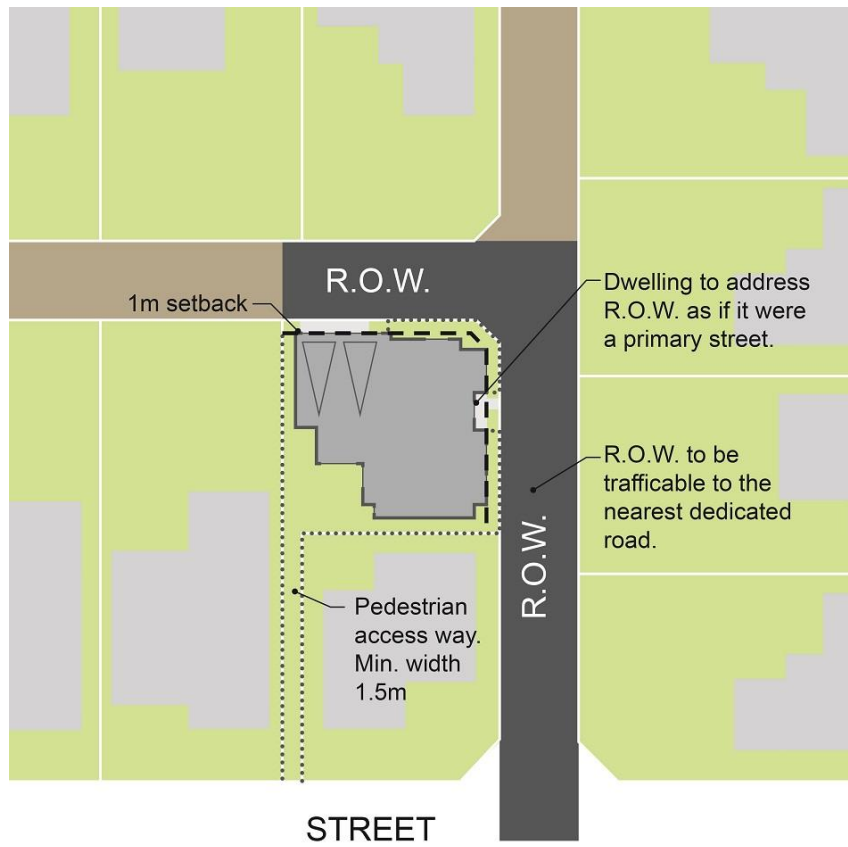


Figure 5.31 – Corner development on rights of way

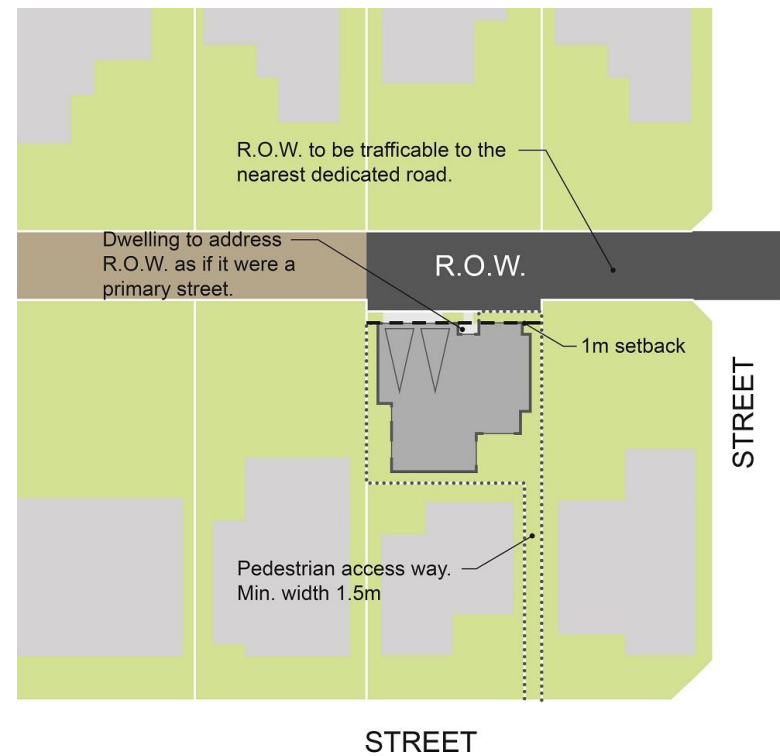


Figure 5.31 – Development on rights of way

Appendix 1 – DESIGN PRINCIPLES

1. Context and character

Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.

The distinctive characteristics of a local area include its prominent natural and built features, the overall qualities of its built environment, significant heritage elements, as well as social, economic and environmental conditions.

Good design responds intelligently and sensitively to these factors, interpreting rather than replicating existing features and enhancing the identity of the area, including the adjacent sites, streetscape and neighbourhood.

Good design also responds positively to the intended future character of an area. It delivers appropriate densities that are consistent with projected population growth, and are able to be sustained by existing or proposed transport, green networks and social infrastructure.

Consideration of local context is particularly important for sites in established areas that are undergoing change or identified for change.

2. Landscape quality

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.

Good landscape design protects existing environmental features and ecosystems, enhances the local environmental context and regenerates lost or damaged ecosystem functionality, where possible. It balances consideration of environmental factors such as water and soil management, ground conditions, solar access, microclimate, tree canopy, habitat creation and preservation of green infrastructure with social, cultural and economic conditions.

Good landscape design employs hard and soft landscape and urban design elements to create external environments that interact in a considered manner with built form, resulting in well-integrated, engaging places that contribute to local identity and streetscape character.

Good landscape design provides optimal levels of external amenity, functionality and weather protection while ensuring social inclusion, equitable access and respect for the public and neighbours. Well-designed landscape environments ensure effective establishment and facilitate ease of long term management and maintenance.

3. Built form and scale

Good design provides development with massing and height that is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.

Good design achieves an appropriate built form by responding to its site, as well as surrounding built fabric, in a considered manner, mitigating negative impacts on the amenity of neighbouring properties and public realm.

Good design considers the orientation, proportion, composition, and articulation of built form elements, to deliver an outcome that is suited to the building's purpose, defines the public domain, respects important views, contributes to the character of adjacent streetscapes and parks, and provides a good pedestrian environment at ground level.

4. Functionality and build quality

Good design meets the needs of users efficiently and effectively, balancing functional requirements to deliver optimum benefit and performing well over the full life-cycle.

Designing functional environments involves ensuring that spaces are suited to their intended purpose and arranged to facilitate ease of use and good relationships to other spaces. Good design provides flexible and adaptable spaces, to maximise utilisation and accommodate appropriate future requirements without the need for major modifications.

Good build quality is achieved by using good quality and robust materials, finishes, elements and systems. Projects should be well-detailed, resilient to the wear and tear expected from its intended use, and easy to upgrade and maintain.

Good design accommodates required services in an integrated manner, without detriment to the overall design outcome.

5. Sustainability

Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.

Sustainable buildings utilise passive environmental design measures that respond to local climate and site conditions by providing optimal orientation, shading, thermal performance and natural ventilation. Reducing reliance on technology for heating and cooling minimises energy use, resource consumption and operating costs over the whole life-cycle of the project.

Other sustainable design measures include the use of sustainable construction materials, recycling, material re-use, harnessing of renewable energy sources, appropriate water management. Good design considers the ease with which sustainability initiatives can be maintained and managed.

Sustainable landscape and urban design adheres to established principles of water-sensitive urban design, and minimises negative impacts on existing natural features and ecological processes, as well as facilitating green infrastructure at all project scales.

6. Amenity

Good design optimises internal and external amenity for occupants, visitors and neighbours, contributing to living and working environments that are comfortable and productive.

Good design provides internal rooms and spaces that are adequately sized, comfortable and easy to use and furnish, with good levels of daylight, natural ventilation and outlook. Delivering good levels of internal amenity also includes the provision of appropriate levels of acoustic protection and visual privacy, adequate storage space, and ease of access for all.

Well-designed external spaces provide welcoming, comfortable environments that are universally accessible, with effective shade as well as protection from unwanted wind, rain, traffic and noise. Good design mitigates negative impacts on surrounding buildings and places, including overshadowing, overlooking, glare, reflection and noise.

7. Legibility

Good design results in buildings and places that are legible, with clear connections and memorable elements to help people find their way around.

Good urban design makes places easy to navigate, with recognisable routes, intersections and landmarks while being well-connected to existing movement networks. Sightlines are well-considered, with built form responding to important vantage points.

Within buildings, legibility is served by a clear hierarchy of spaces with identifiable entries and clear wayfinding. Externally, buildings and spaces should allow their purpose to be easily understood, and provide clear distinction between public and private spaces.

Good design provides environments that are logical and intuitive, at the scale of building, site and precinct.

8. Safety

Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.

Safety and security is promoted by maximising opportunities for passive surveillance of public and communal areas and providing clearly defined, well-lit, secure access points that are easily maintained and appropriate to the purpose of the development.

Good design provides a positive, clearly defined relationship between public and private spaces and addresses the need to provide optimal safety and security both within a development and to adjacent public realm.

Designing for safety also involves mitigating any potential occupational safety and health hazards that might result from a development during its construction, maintenance and operation.

9. Community

Good design responds to local community needs as well as the wider social context, providing buildings and spaces that support a diverse range of people and facilitate social interaction.

Good design encourages social engagement and physical activity in an inclusive manner, enabling stronger communities and improved public health outcomes.

In residential developments, good design achieves a mix of dwelling types, providing housing choice for different demographics, living needs and household budgets, and facilitating ageing-in-place.

10. Aesthetics

Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.

Good design resolves the many competing challenges of a project into an elegant and coherent outcome. A well-conceived design concept informs all scales, from the articulation of building form through to materiality and detail, enabling sophisticated, integrated responses to the complexities of local built form and landscape character.

In assessing design quality, consideration of aesthetics should not be limited to style and appearance; it should also account for design integrity, creativity, conceptual coherence and cultural relevance in a proposal.