

23/03/2018 8:07:53 AM  
 E:\TBG\_01\_DATA\A1\_PLANS\02\_CONCEPT\DESIGN\_STAGE DWGS\09\_WA151020 - 124 WRIGHT ST\151020 - 124 WRIGHT ST - 47.rvt

DO NOT SCALE OFF DRAWINGS. CHECK ALL DIMENSIONS PRIOR TO COMMENCING WORK. PLANS COPYRIGHT THOMPSON SUSTAINABLE HOMES.

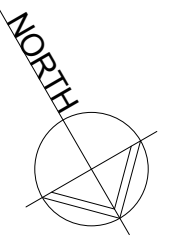
**THOMPSON**  
SUSTAINABLE HOMES

PO BOX 565, BALCATTA, WA 6914 | P: 1300 90 40 40 | F: (07) 5444 4707 | RBN: 14518

DRAWING: <b>PERSPECTIVES &amp; STREET ELEVATION</b>
CLIENT:
SITE ADDRESS: <b>NO. 124 WRIGHT STREET, HIGHGATE WA</b>

**PRELIMINARY ISSUE**  
NOT TO BE USED FOR CONSTRUCTION

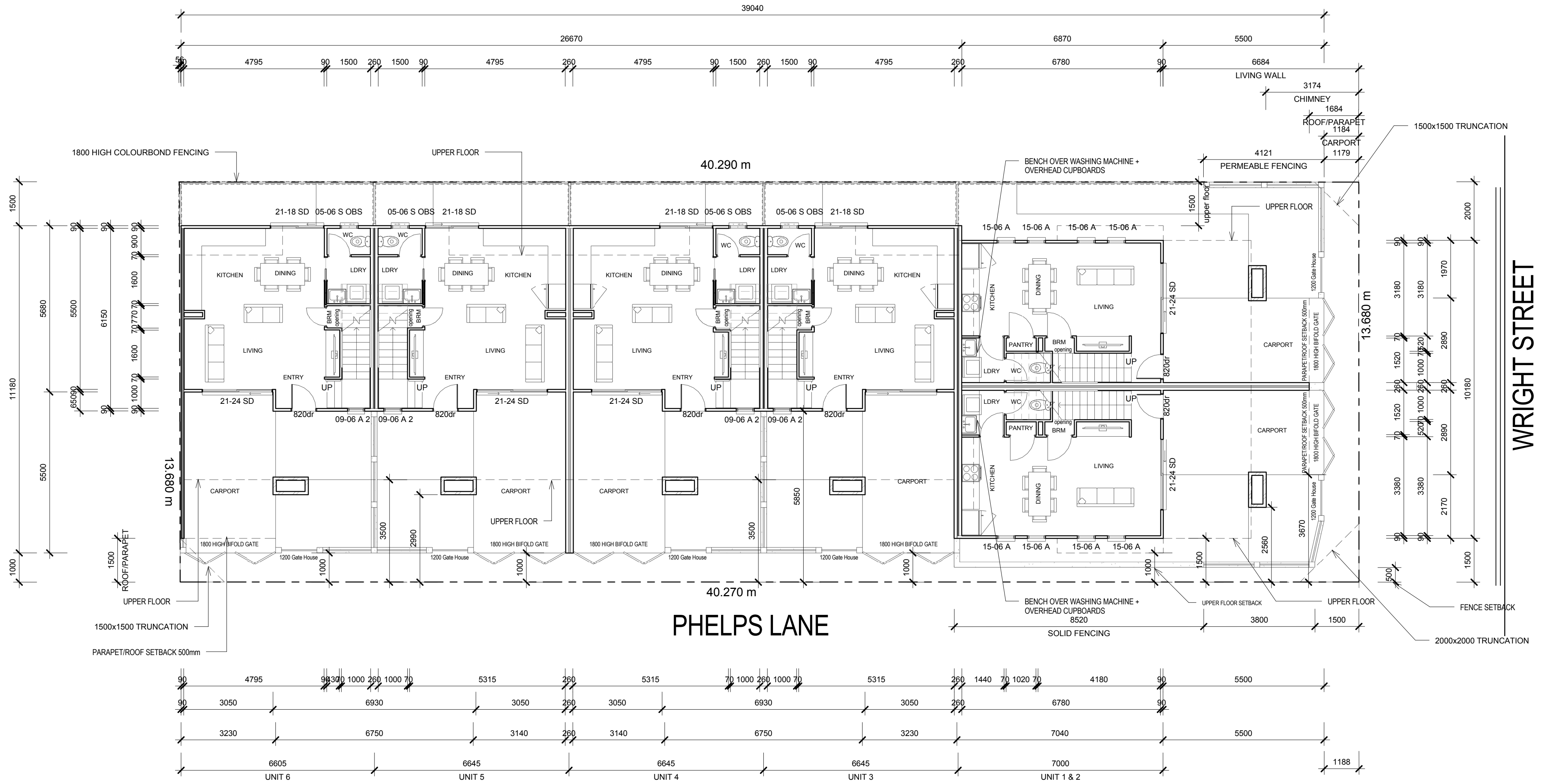
DRAWING: P-01
SHEET SIZE: A2    SCALE: 1 : 100
<b>6 x SINGLE BED DWELLINGS</b>



**NOTE:**  
THIS DRAWING IS FOR CONCEPT PURPOSES ONLY.  
WINDOW SIZES, DIMENSIONS AND AREAS ARE  
FINALISED WHEN THE WORKING DRAWINGS ARE  
PREPARED.

UNIT 1  
PLOT RATIO: 69.15 sq.m.  
UNIT 2  
PLOT RATIO: 72.16 sq.m.

UNITS 3 - 6  
PLOT RATIO: 70.6 sq.m.



LOWER FLOOR	35.71 m <sup>2</sup>	LOWER FLOOR	37.04 m <sup>2</sup>	CARPORT	17.91 m <sup>2</sup>	CARPORT	17.93 m <sup>2</sup>	CARPORT	17.93 m <sup>2</sup>	CARPORT	17.71 m <sup>2</sup>
CARPORT	15.90 m <sup>2</sup>	CARPORT	15.40 m <sup>2</sup>	LOWER FLOOR	40.00 m <sup>2</sup>	LOWER FLOOR	40.00 m <sup>2</sup>	LOWER FLOOR	40.00 m <sup>2</sup>	LOWER FLOOR	39.77 m <sup>2</sup>
UPPER FLOOR	36.72 m <sup>2</sup>	UPPER FLOOR	38.40 m <sup>2</sup>	UPPER FLOOR	35.88 m <sup>2</sup>	UPPER FLOOR	35.88 m <sup>2</sup>	UPPER FLOOR	35.88 m <sup>2</sup>	UPPER FLOOR	35.32 m <sup>2</sup>
BALCONY	14.97 m <sup>2</sup>	BALCONY	15.57 m <sup>2</sup>	BALCONY	15.04 m <sup>2</sup>	BALCONY	15.04 m <sup>2</sup>	BALCONY	15.29 m <sup>2</sup>	BALCONY	15.29 m <sup>2</sup>
UNIT 1	103.30 m <sup>2</sup>	UNIT 2	106.42 m <sup>2</sup>	UNIT 3	108.82 m <sup>2</sup>	UNIT 4	108.84 m <sup>2</sup>	UNIT 5	108.84 m <sup>2</sup>	UNIT 6	108.09 m <sup>2</sup>
<b>Grand total</b>											

**SITE COVER CALCULATIONS:**

TOTAL SITE AREA:	551 sq.m.
85% ALLOWABLE AREA =	468.35 sq.m.
75% ALLOWABLE AREA =	413.25 sq.m.
70% ALLOWABLE AREA =	385.7 sq.m.
60% ALLOWABLE AREA =	330.6 sq.m.
50% ALLOWABLE AREA =	275.5 sq.m.

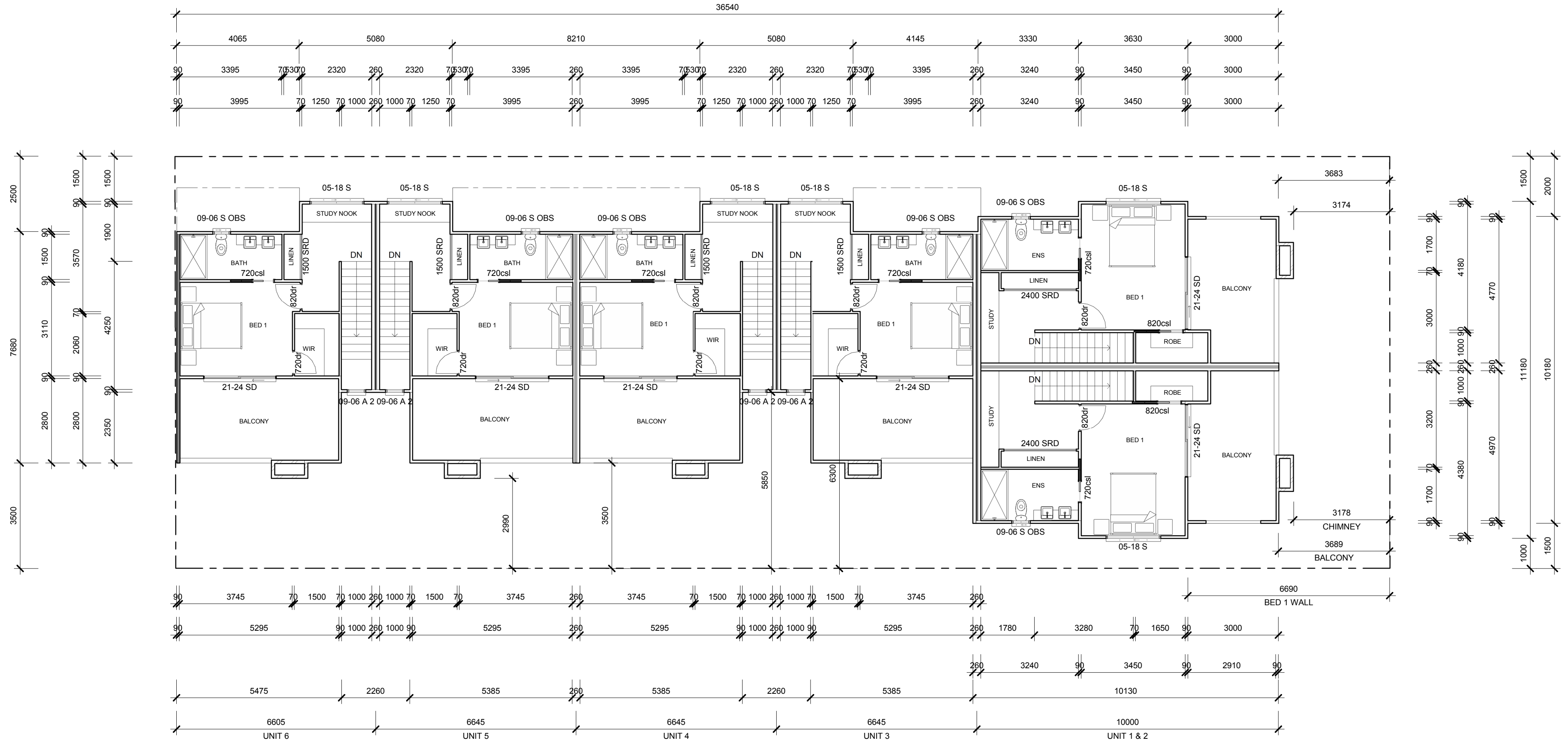
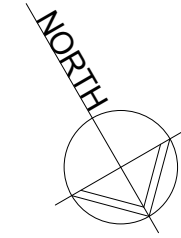
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 EXTREG\_01\_DATA\A11\_PLANS\02\_CONCEPT\DESIGN STAGE DWGS\09\_WA151020 - 124 WRIGHT ST - 47.rvt  
 DO NOT SCALE OFF DRAWINGS. CHECK ALL DIMENSIONS PRIOR TO COMMENCING WORK. PLANS COPYRIGHT THOMPSON SUSTAINABLE HOMES.



**NOTE:**  
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FINALISED WHEN THE WORKING DRAWINGS ARE  
PREPARED.

UNIT 1  
PLOT RATIO: 69.15 sq.m.  
  
UNIT 2  
PLOT RATIO: 72.16 sq.m.

UNITS 3 - 6  
PLOT RATIO: 71.2 sq.m.

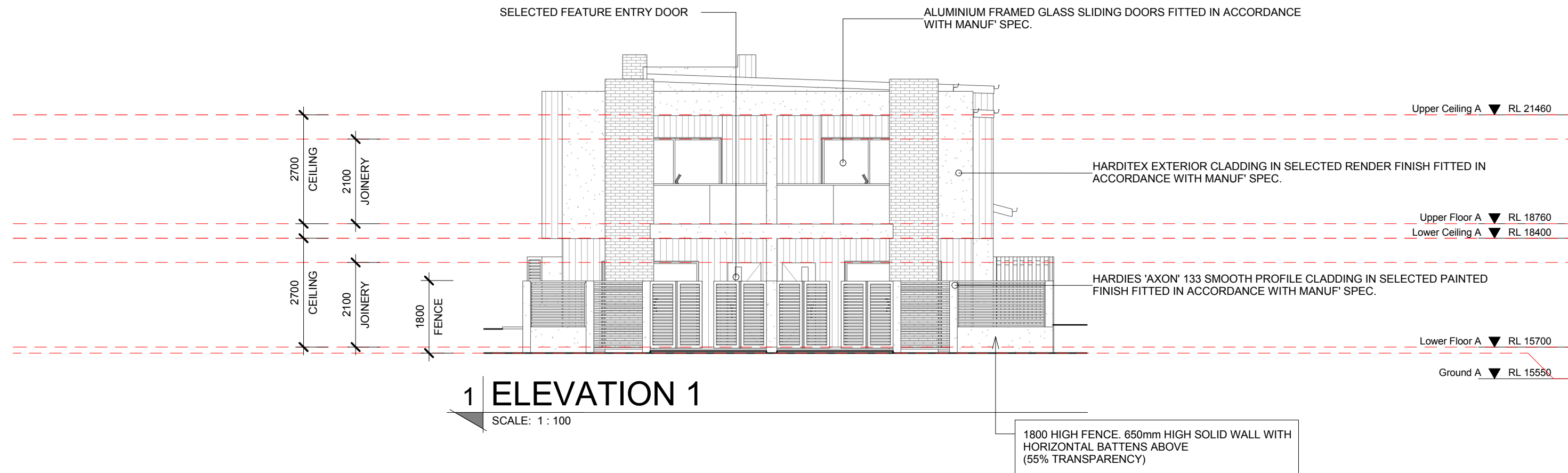


LOWER FLOOR	35.71 m <sup>2</sup>	LOWER FLOOR	37.04 m <sup>2</sup>	CARPORT	17.91 m <sup>2</sup>	CARPORT	17.93 m <sup>2</sup>	CARPORT	17.93 m <sup>2</sup>	CARPORT	17.71 m <sup>2</sup>
CARPORT	15.90 m <sup>2</sup>	CARPORT	15.40 m <sup>2</sup>	LOWER FLOOR	40.00 m <sup>2</sup>	LOWER FLOOR	40.00 m <sup>2</sup>	LOWER FLOOR	40.00 m <sup>2</sup>	LOWER FLOOR	39.77 m <sup>2</sup>
UPPER FLOOR	36.72 m <sup>2</sup>	UPPER FLOOR	38.40 m <sup>2</sup>	UPPER FLOOR	35.88 m <sup>2</sup>	UPPER FLOOR	35.88 m <sup>2</sup>	UPPER FLOOR	35.88 m <sup>2</sup>	UPPER FLOOR	35.32 m <sup>2</sup>
BALCONY	14.97 m <sup>2</sup>	BALCONY	15.57 m <sup>2</sup>	BALCONY	15.04 m <sup>2</sup>	BALCONY	15.04 m <sup>2</sup>	BALCONY	15.04 m <sup>2</sup>	BALCONY	15.29 m <sup>2</sup>
UNIT 1	103.30 m <sup>2</sup>	UNIT 2	106.42 m <sup>2</sup>	UNIT 3	108.82 m <sup>2</sup>	UNIT 4	108.84 m <sup>2</sup>	UNIT 5	108.84 m <sup>2</sup>	UNIT 6	108.09 m <sup>2</sup>
<b>Grand total</b>											

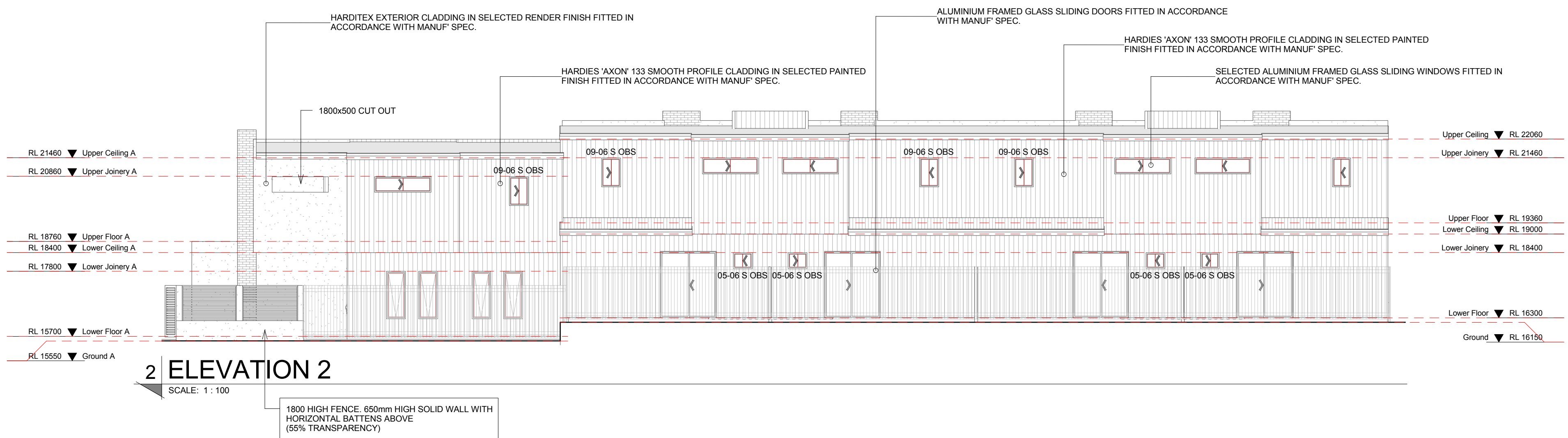
<b>SITE COVER CALCULATIONS:</b>	
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23/03/2018 8:08:08 AM  
 E:\TEG - 01\_DATA\01\_PLANS\02\_CONCEPT-DESIGN-STAGE DWGS\09\_WA151020 - 124 WRIGHT ST - 47.m  
 DO NOT SCALE OFF DRAWINGS. CHECK ALL DIMENSIONS PRIOR TO COMMENCING WORK. PLANS COPYRIGHT THOMPSON SUSTAINABLE HOMES.

NOTE: FLASHING BETWEEN BOUNDARY WALL AND NEIGHBOURING BOUNDARY WALL WHERE APPLICABLE



**1 ELEVATION 1**  
SCALE: 1 : 100



**2 ELEVATION 2**  
SCALE: 1 : 100

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23/03/2018 8:08:15 AM

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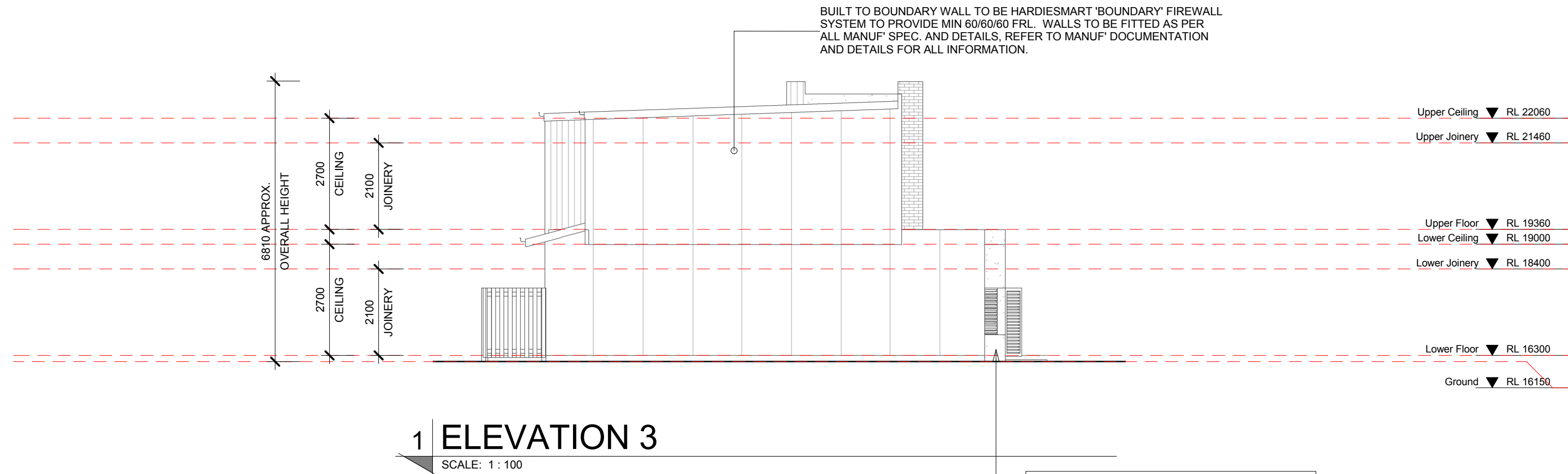
DRAWING: <b>ELEVATIONS</b>
CLIENT:
SITE ADDRESS: <b>NO. 124 WRIGHT STREET, HIGHGATE WA</b>

**PRELIMINARY ISSUE**  
NOT TO BE USED FOR CONSTRUCTION

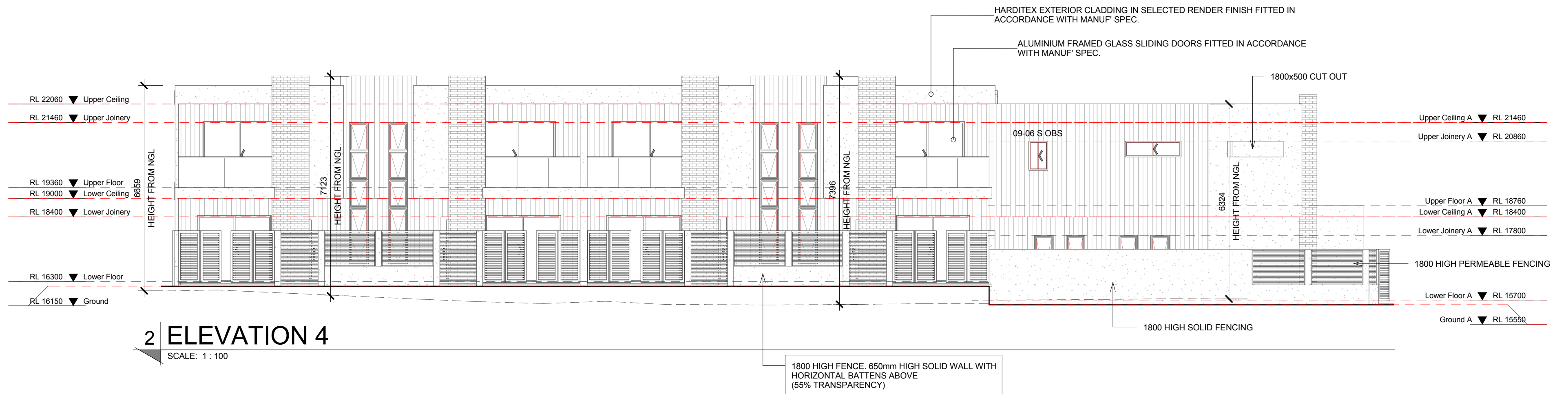
DRAWING: P-04
SHEET SIZE: A2    SCALE: 1 : 100
<b>6 x SINGLE BED DWELLINGS</b>



NOTE: FLASHING BETWEEN BOUNDARY WALL AND NEIGHBOURING BOUNDARY WALL WHERE APPLICABLE



1800 HIGH FENCE. 650mm HIGH SOLID WALL WITH HORIZONTAL BATTENS ABOVE (55% TRANSPARENCY)



1800 HIGH FENCE. 650mm HIGH SOLID WALL WITH HORIZONTAL BATTENS ABOVE (55% TRANSPARENCY)

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DRAWING: <b>ELEVATIONS</b>
CLIENT:
SITE ADDRESS: <b>NO. 124 WRIGHT STREET, HIGHGATE WA</b>

**PRELIMINARY ISSUE**  
 NOT TO BE USED FOR CONSTRUCTION

DRAWING: P-05
SHEET SIZE: A2 SCALE: 1 : 100
<b>6 x SINGLE BED DWELLINGS</b>

**GENERAL NOTES:**

ALL BUILDING WORK TO BE CARRIED OUT IN ACCORDANCE WITH A.S.1684 AND THE B.C.A. AND ALL OTHER RELEVANT CODES AND STANDARDS.

CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS ARE TO TAKE PRECEDENCE OVER THESE PLANS.

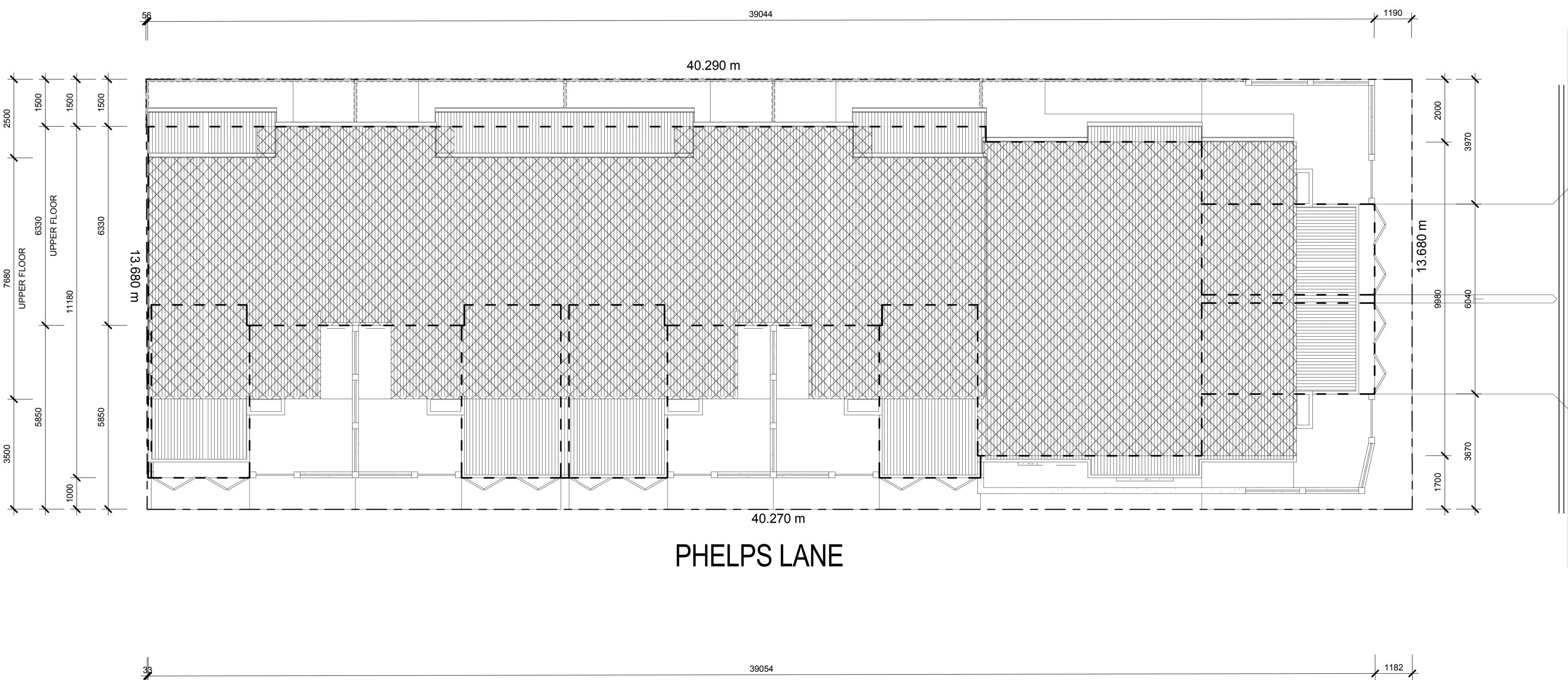
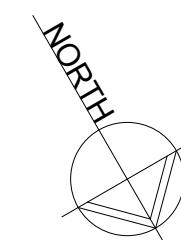
ALL ROOF RAINWATER TO BE DIRECTED TO PROPERTY BOUNDARY FOR DISTRIBUTION TO THE ROOF WATER HARVESTING SCHEME AS PER REQUIREMENTS.

ALL EFFLUENT & WASTE WATER TO BE CONNECTED TO COUNCIL SEWERAGE LINE AS PER COUNCIL & ESTATE REQUIREMENTS U.N.O.

ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY BUILDER PRIOR TO ORDERING OF MATERIALS OR COMMENCEMENT OF CONSTRUCTION.

**GENERAL SYMBOLS LEGEND**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
↔HC	EXTERNAL HOSECOCK	dp	DOWNPIPE LOCATION
↔GAS	GAS CONNECTION	FW	FLOOR WASTE
↔HW	HOT WATER CONNECTION	SK	KITCHEN SINK
↔CW	COLD WATER CONNECTION	VB	VANITY BASIN
		WC	WC WASTE
HC	HOUSE CONNNECTION	LT	LAUNDRY TUB
IO	INSPECTION OPENING	STK	PLUMBING STACK TO FLOOR ABOVE / BELOW
ORG	OVERFLOW RELIEF GULLY		



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DRAWING: **SITE PLAN**  
 CLIENT:  
 SITE ADDRESS: **NO. 124 WRIGHT STREET, HIGHGATE WA**

PRELIMINARY ISSUE  
 NOT TO BE USED FOR CONSTRUCTION

DRAWING: P-06  
 SHEET SIZE: A2 SCALE: 1 : 100  
**6 x SINGLE BED DWELLINGS**



LANDSCAPING AREAS: LOT 1	
LOT SIZE:	95.65 sq.m.
BUILDING COVERAGE:	52.28 sq.m. = 54.65%
OPEN SPACE:	40.53 sq.m. = 42.37%
HARD LANDSCAPING:	20.21 sq.m. = 21.13%
SOFT LANDSCAPING:	23.01 sq.m. = 24.06%

LANDSCAPING AREAS: LOT 2	
LOT SIZE:	91.57 sq.m.
BUILDING COVERAGE:	52.94 sq.m. = 57.81%
OPEN SPACE:	36.45 sq.m. = 39.80%
HARD LANDSCAPING:	19.86 sq.m. = 21.69%
SOFT LANDSCAPING:	17.95 sq.m. = 19.60%

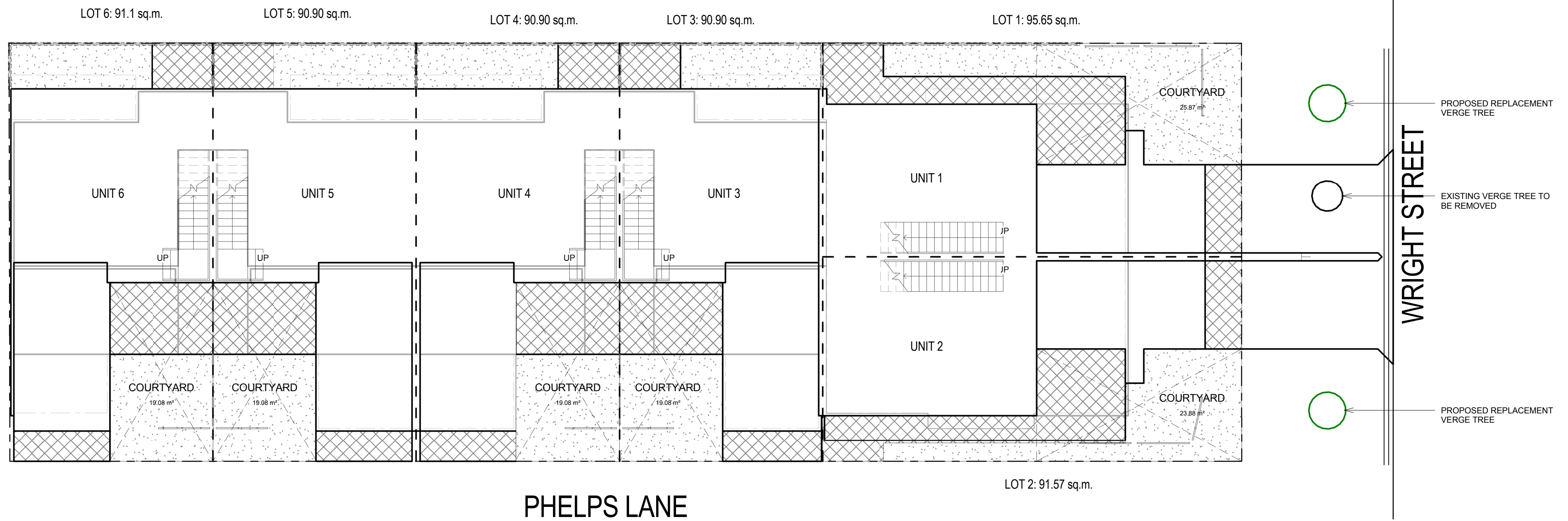
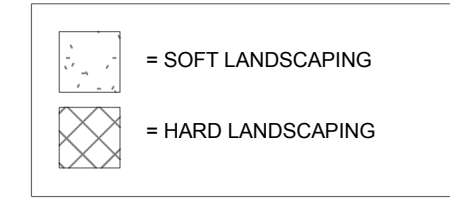
LANDSCAPING AREAS: LOT 3	
LOT SIZE:	90.90 sq.m.
BUILDING COVERAGE:	57.89 sq.m. = 63.69%
OPEN SPACE:	29.71 sq.m. = 32.69%
HARD LANDSCAPING:	14.16 sq.m. = 15.58%
SOFT LANDSCAPING:	18.78 sq.m. = 20.66%

LANDSCAPING AREAS: TOTAL	
LOT SIZE:	551.00 sq.m.
TOTAL BUILDING COVERAGE:	336.52 sq.m. = 61.07%
TOTAL OPEN SPACE:	195.86 sq.m. = 35.55%
TOTAL HARD LANDSCAPING:	96.44 sq.m. = 17.50%
TOTAL SOFT LANDSCAPING:	116.30 sq.m. = 21.11%

LANDSCAPING AREAS: LOT 4	
LOT SIZE:	90.90 sq.m.
BUILDING COVERAGE:	57.92 sq.m. = 63.72%
OPEN SPACE:	29.71 sq.m. = 32.69%
HARD LANDSCAPING:	14.07 sq.m. = 15.48%
SOFT LANDSCAPING:	18.87 sq.m. = 20.76%

LANDSCAPING AREAS: LOT 5	
LOT SIZE:	90.90 sq.m.
BUILDING COVERAGE:	57.92 sq.m. = 63.72%
OPEN SPACE:	29.71 sq.m. = 32.69%
HARD LANDSCAPING:	14.07 sq.m. = 15.48%
SOFT LANDSCAPING:	18.87 sq.m. = 20.76%

LANDSCAPING AREAS: LOT 6	
LOT SIZE:	91.10 sq.m.
BUILDING COVERAGE:	57.58 sq.m. = 63.20%
OPEN SPACE:	29.75 sq.m. = 32.66%
HARD LANDSCAPING:	14.07 sq.m. = 15.45%
SOFT LANDSCAPING:	18.82 sq.m. = 20.66%



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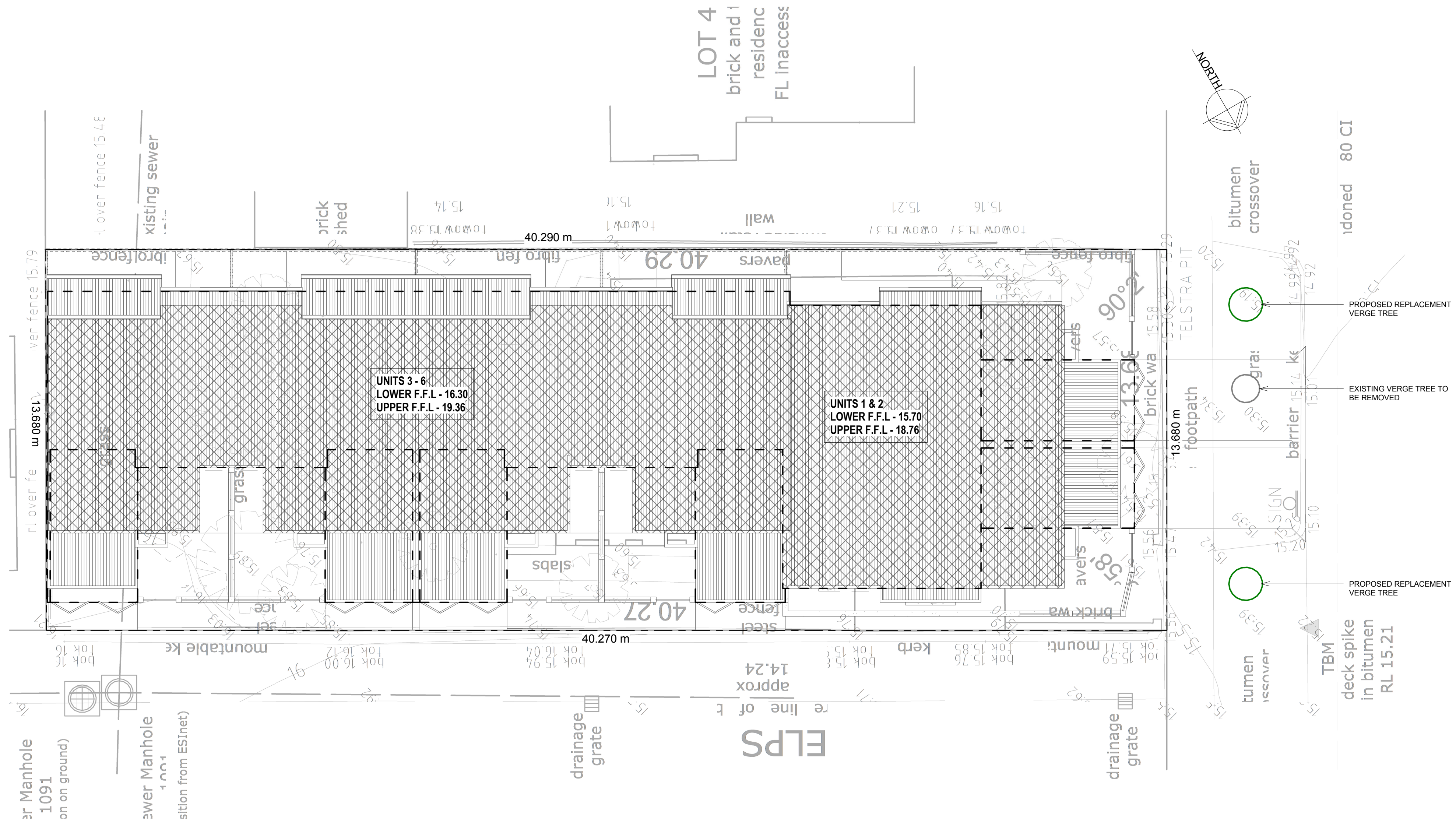
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DRAWING:	<b>LANDSCAPING PLAN</b>
CLIENT:	
SITE ADDRESS:	<b>NO. 124 WRIGHT STREET, HIGHGATE WA</b>

<b>PRELIMINARY ISSUE</b>	
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DRAWING:	P-07
SHEET SIZE:	A2
SCALE:	1 : 100
<b>6 x SINGLE BED DWELLINGS</b>	





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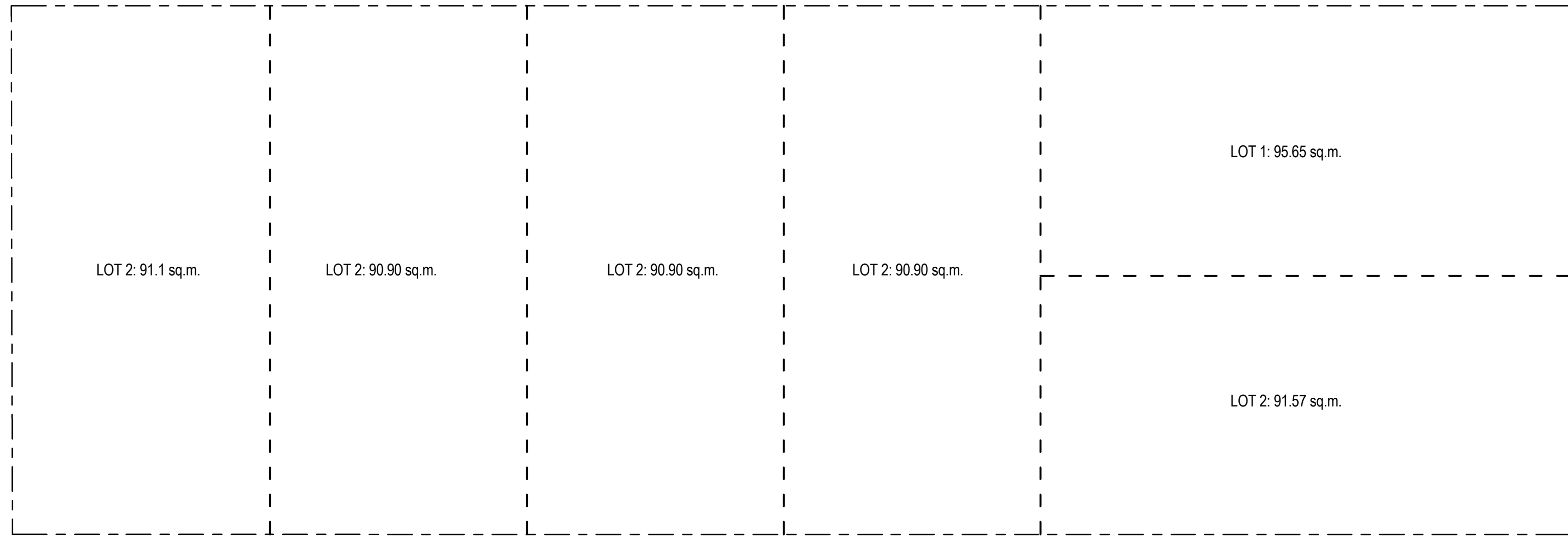
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DRAWING: <b>SURVEY</b>
CLIENT:
SITE ADDRESS: <b>NO. 124 WRIGHT STREET, HIGHGATE WA</b>

**PRELIMINARY ISSUE**  
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DRAWING: P-08
SHEET SIZE: A2 SCALE: 1 : 100
<b>6 x SINGLE BED DWELLINGS</b>



PHELPS LANE

WRIGHT STREET

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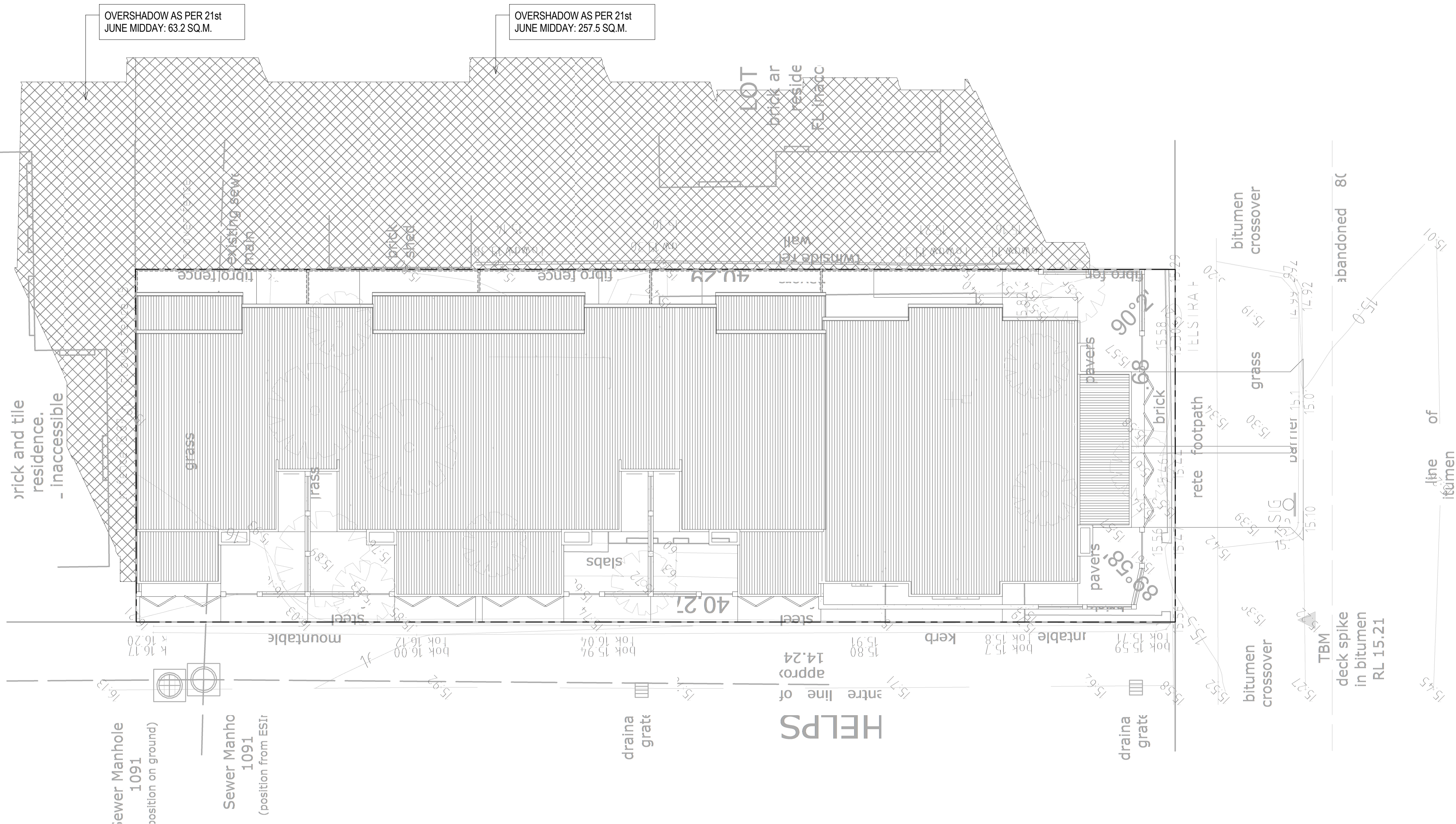
DRAWING: <b>PROPOSED LOTS</b>
CLIENT:
SITE ADDRESS: <b>NO. 124 WRIGHT STREET, HIGHGATE WA</b>

**PRELIMINARY ISSUE**  
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DRAWING: P-09
SHEET SIZE: A2    SCALE: 1 : 100
<b>6 x SINGLE BED DWELLINGS</b>



23/03/2018 8:00:00 AM EXTBG\_01\_DATA\01\_PLANS\02\_CONCEPT\DESIGN\STAGE DWGS\09\_WA151020 - 124 WRIGHT ST\151020 - 124 WRIGHT ST - v7.rvt



OVERSHADOW AS PER 21st JUNE MIDDAY: 63.2 SQ.M.

OVERSHADOW AS PER 21st JUNE MIDDAY: 257.5 SQ.M.

sewer Manhole 1091 (position on ground)  
Sewer Manho 1091 (position from ESr)

drainage grate

HELPS

drainage grate

deck spike in bitumen RL 15.21

line of bitumen  
IT STR

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DRAWING: <b>OVERSHADOWING PLAN</b>
CLIENT:
SITE ADDRESS: <b>NO. 124 WRIGHT STREET, HIGHGATE WA</b>

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DRAWING: P-10
SHEET SIZE: A2 SCALE: 1 : 100
<b>6 x SINGLE BED DWELLINGS</b>



