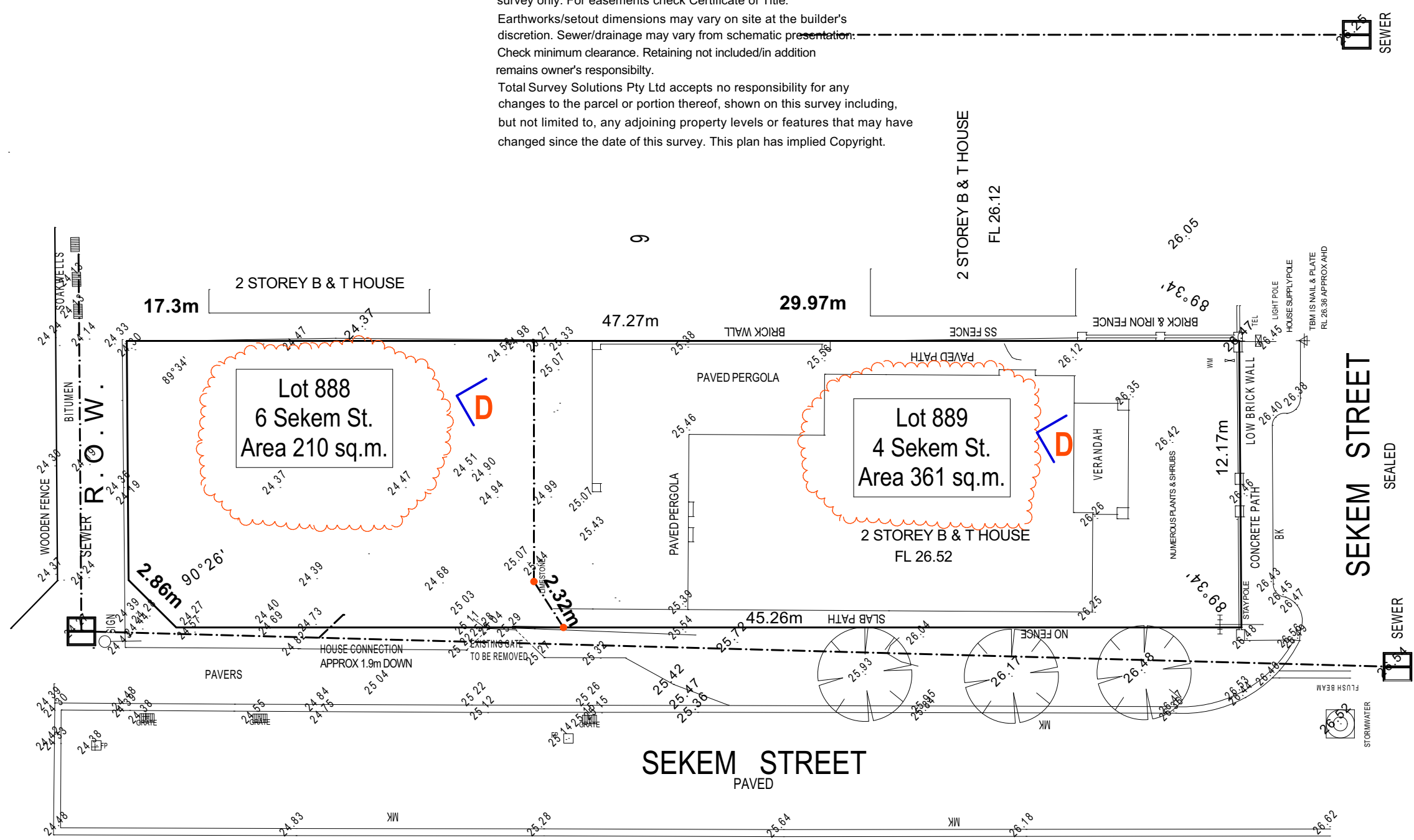


amended DA

This survey does not guarantee the location of boundary pegs or fences in relation to the boundaries. It is a site survey only. For easements check Certificate of Title.
 Earthworks/setout dimensions may vary on site at the builder's discretion. Sewer/drainage may vary from schematic presentation. Check minimum clearance. Retaining not included/in addition remains owner's responsibility.
 Total Survey Solutions Pty Ltd accepts no responsibility for any changes to the parcel or portion thereof, shown on this survey including, but not limited to, any adjoining property levels or features that may have changed since the date of this survey. This plan has implied Copyright.



CONTOUR & FEATURE SURVEY

4 SEKEM STREET NORTH PERTH

LOT 10 PLAN 1657 C/T 953/81

CLIENT : RALPH JAMES

LOCAL AUTHORITY : VINCENT

15137.DWG

SCALE: 1:200

REF: 15137

DATE: 10/3/15

TOTAL SURVEY SOLUTIONS P/L

10 GARROW COURT

KINGSLEY WA 6026

P 9309 2042 F 9409 5882

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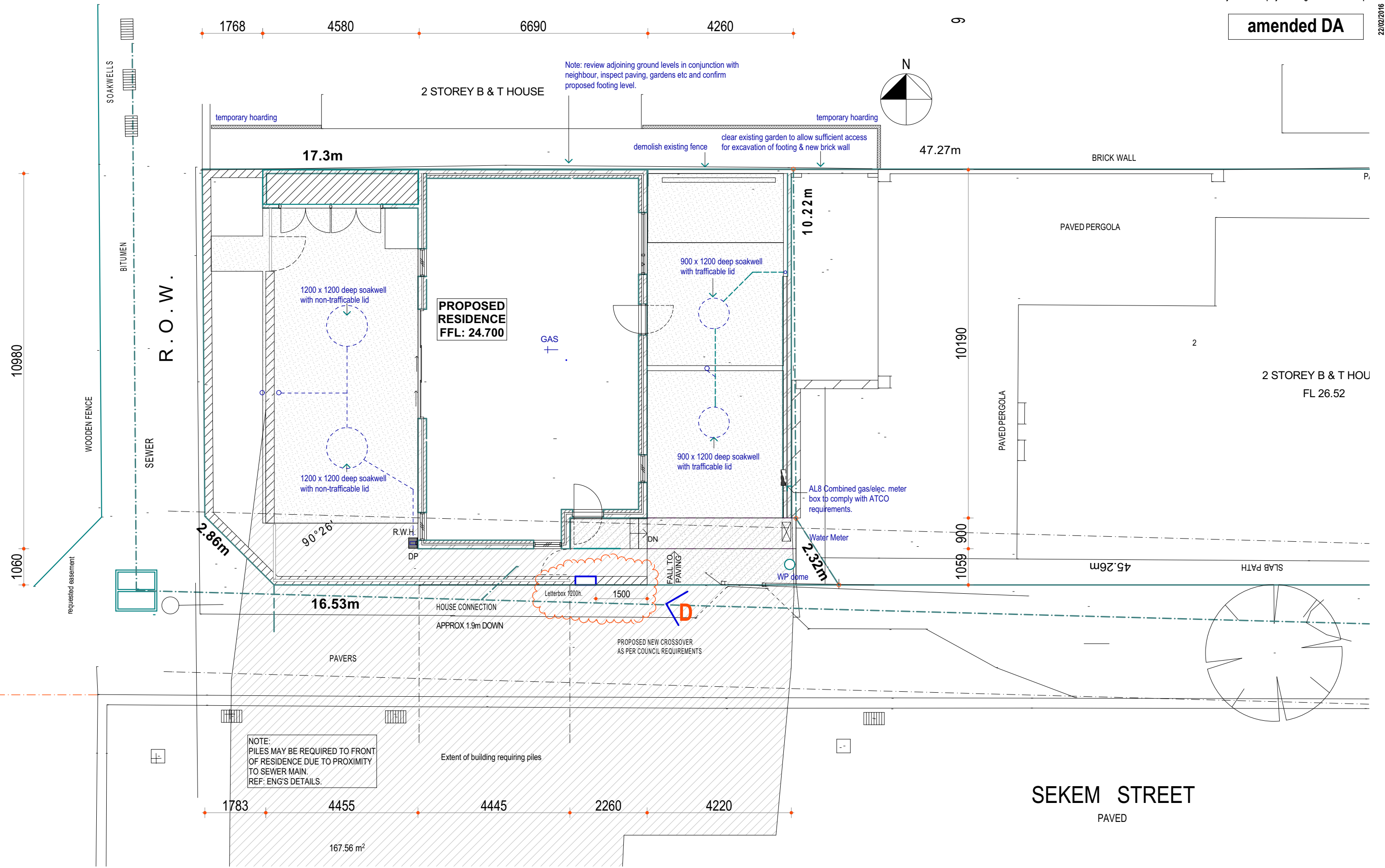
Project:
James House
6 Sekem St.
North Perth

Drawing:
Existing Site Plan

D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
B	issued for pricing	19/8/2015
A	planning	-/1/2015
REV.	AMENDMENT	DATE

Date:	22/02/2016	Drwn:	JC
Job No:	1517	Dwg No.:	A100
The builder must verify all dimensions on site before commencing any work or shop dwgs.			

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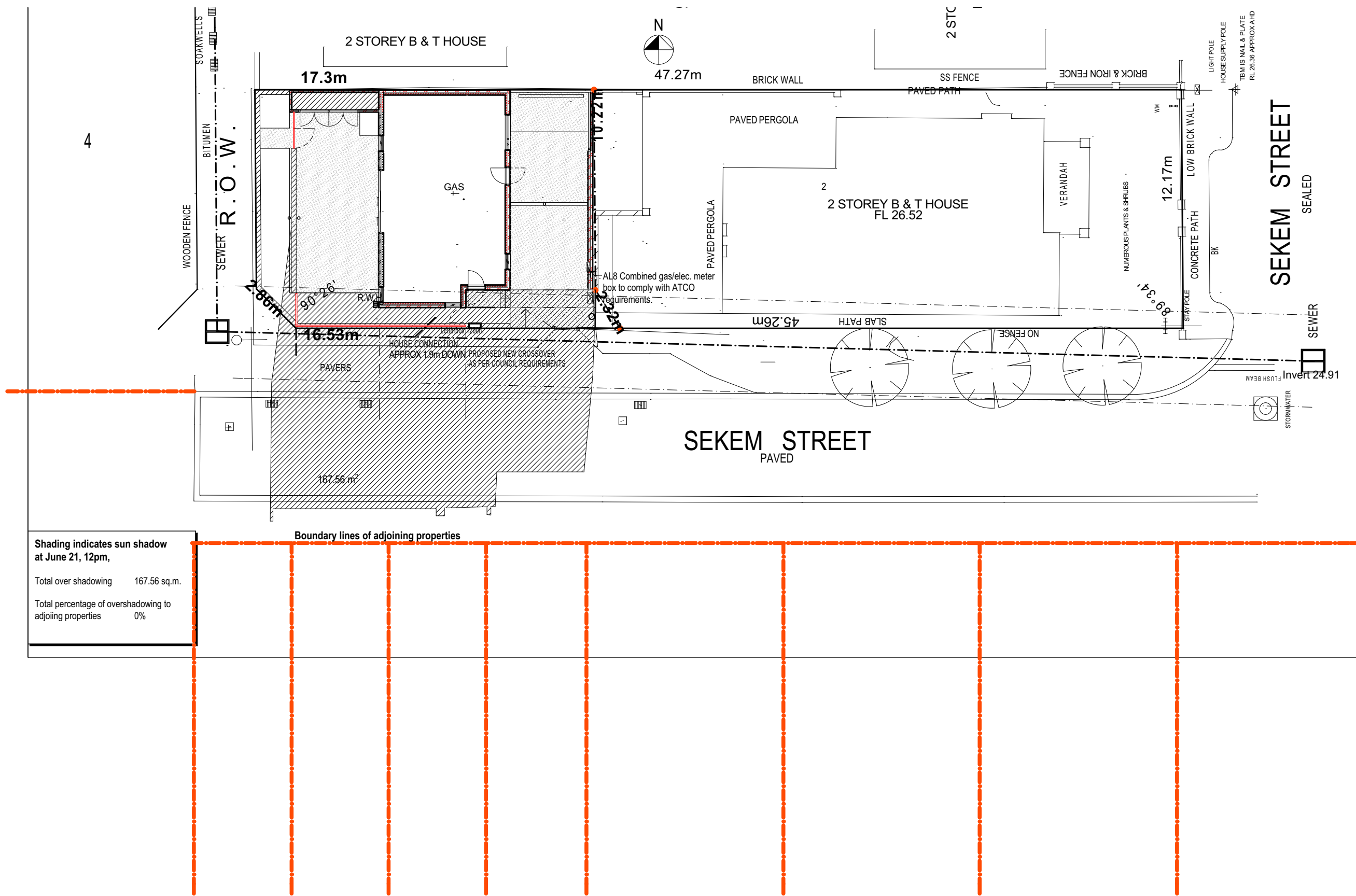
Project:
James House
6 Sekem St.
North Perth

Drawing:
Site Plan

REV.	AMENDMENT	DATE
D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
B	issued for pricing	19/8/2015
A	planning	-/1/2015

Date:	22/02/2016	Drwn:	JC
Job No.:	1517	Dwg No.:	A101
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Shading indicates sun shadow at June 21, 12pm,
 Total over shadowing 167.56 sq.m.
 Total percentage of overshadowing to adjoining properties 0%

Boundary lines of adjoining properties

D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
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A	planning	-/1/2015
REV.	AMENDMENT	DATE

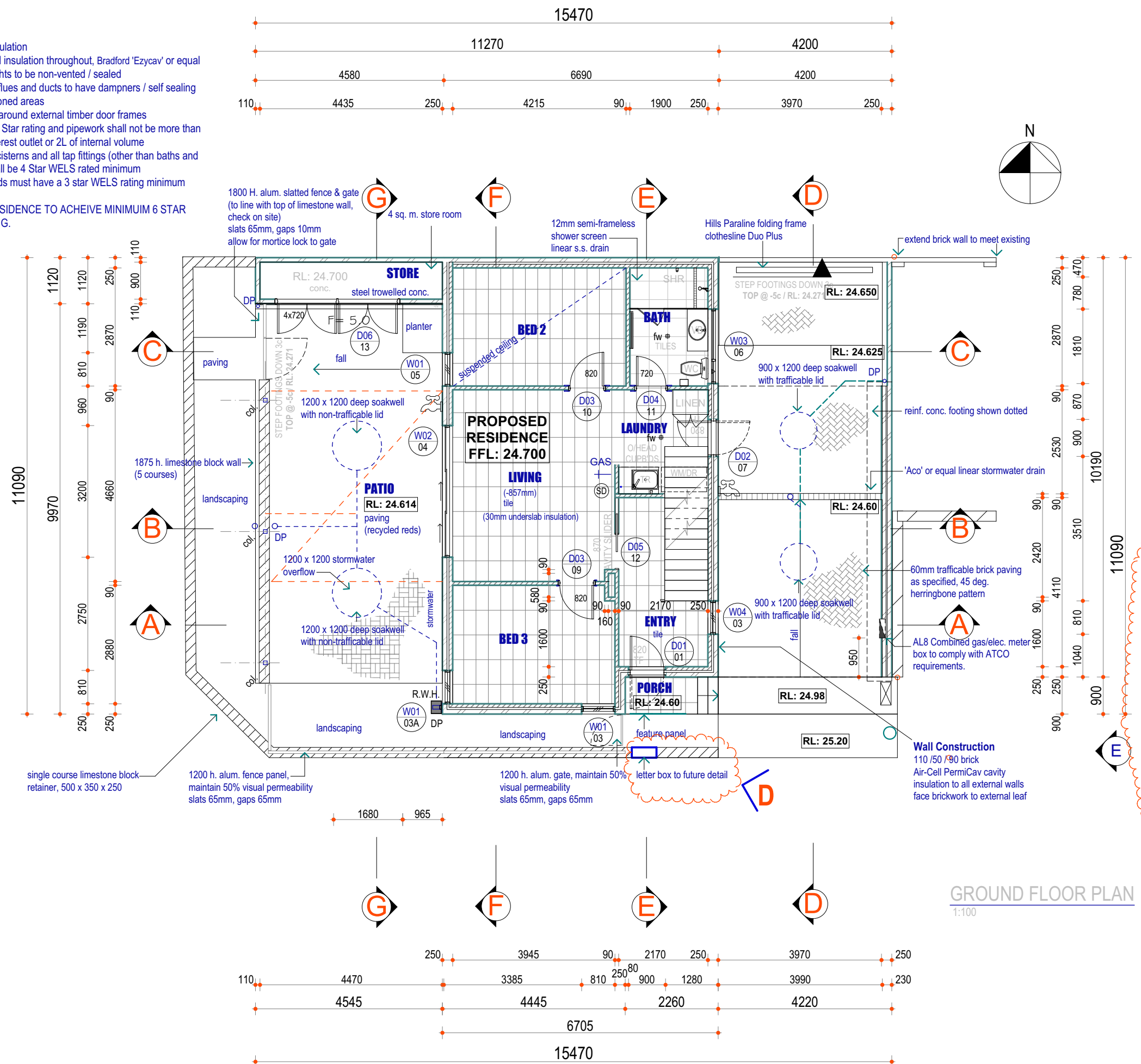
amended DA

22/02/2016

Energy Notes

- R4.0 ceiling insulation
- R1.3 cavity wall insulation throughout, Bradford 'Ezycav' or equal
- All recessed lights to be non-vented / sealed
- Exhaust fans, flues and ducts to have dampers / self sealing device in conditioned areas
- Weather seals around external timber door frames
- HWS to have 5 Star rating and pipework shall not be more than 20m to the furthest outlet or 2L of internal volume
- WC Pans and cisterns and all tap fittings (other than baths and garden taps) shall be 4 Star WELS rated minimum
- All shower heads must have a 3 star WELS rating minimum

PROPOSED RESIDENCE TO ACHIEVE MINIMUM 6 STAR ENERGY RATING.



NOTE:
READ IN CONJUNCTION WITH
STRUCTURAL ENGINEERS DETAILS

Construction Notes
100 thick concrete slab on ground
0.2mm polythene membrane
Ground slab insulation - Knauf Insulation Climafoam XPS 30mm to edge

Ground Floor
External walls - 110 /50 / 90 brick
Air-Cell PermiCav cavity insulation to all external walls
Dulux Acratex finish
Internal walls - 90 maxis

First Floor
172 Concrete suspended slab
External walls - 120 stud
Internal walls - 90 stud

Living Room Roof
Fielders Colorbond KingKlip 700 @ 2 degrees, R1.3 Anticon, R4.0 polyester insulation

Roof Terrace
Pavers to be selected
Waterproofing system as specified
Hardies Scyon Secura External flooring
Timber floor structure

Glazing
6mm Viridian Smartglass clear to all North windows
6mm Viridian Smartglass Neutral to West and South windows

Area Calculations

Site area	= 210 sq.m.
Proposed Residence	= 77.62 sq.m.
Carport	= 28.21 sq.m.
First Floor	= 109.67 sq.m.
First Floor Terrace	= 20.43 sq.m.
Terrace Level (Void)	= 12.59 sq.m.
Terrace Open Area	= 61.45 sq.m.
Open space	= 132.38 sq.m.
50% coverage	= 105 sq.m.
Site Coverage	= 37%
Open Space	= 63%

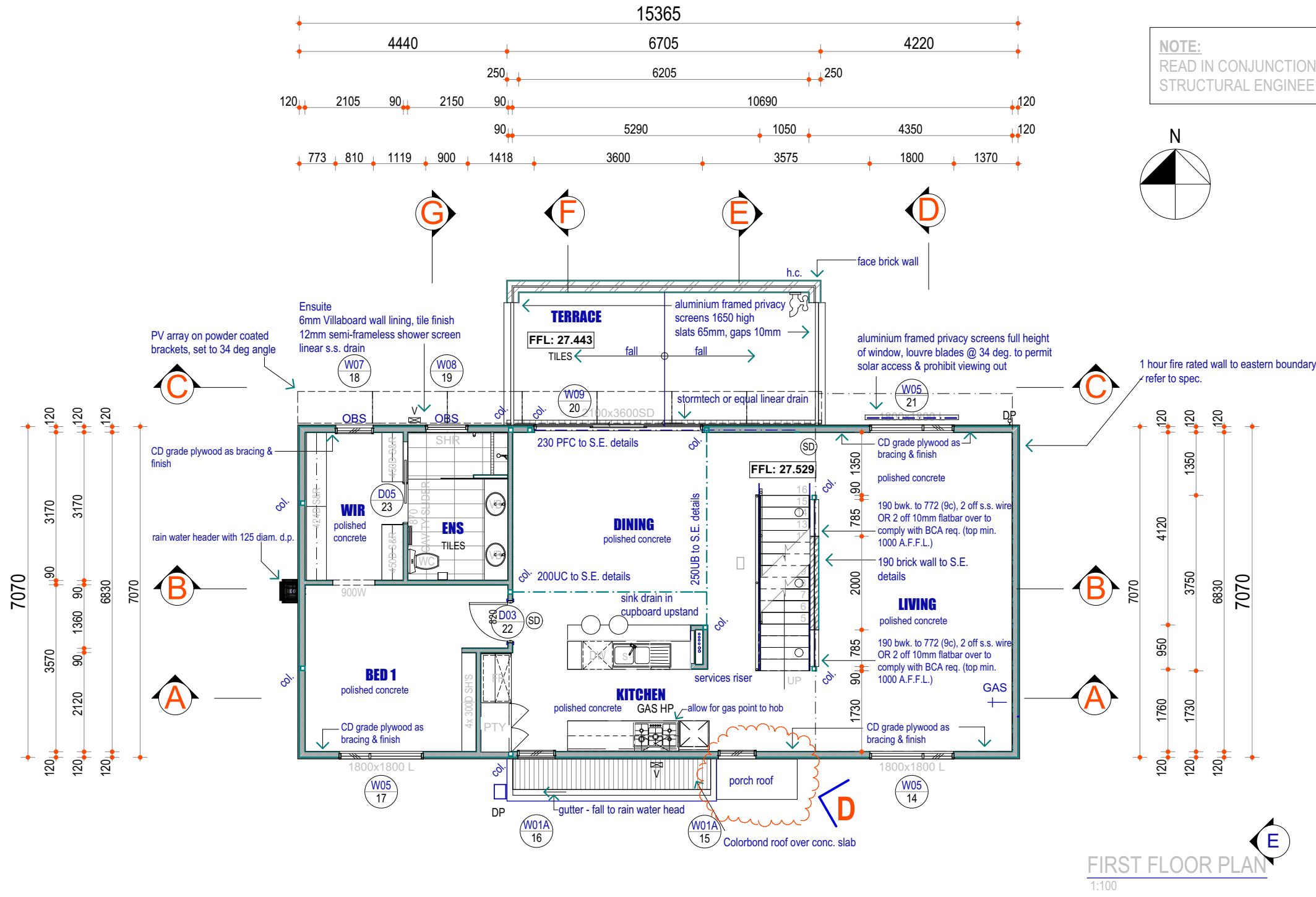
GROUND FLOOR PLAN
1:100

D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
B	issued for pricing	19/8/2015
A	planning	-1/2015
REV.	AMENDMENT	DATE

Date:	22/02/2016	Drwn:	JC
Job No:	1517	Dwg No.:	A201
The builder must verify all dimensions on site before commencing any work or shop dwgs.			

amended DA

NOTE:
 READ IN CONJUNCTION WITH
 STRUCTURAL ENGINEERS DETAILS



FIRST FLOOR PLAN
 1:100

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North Perth

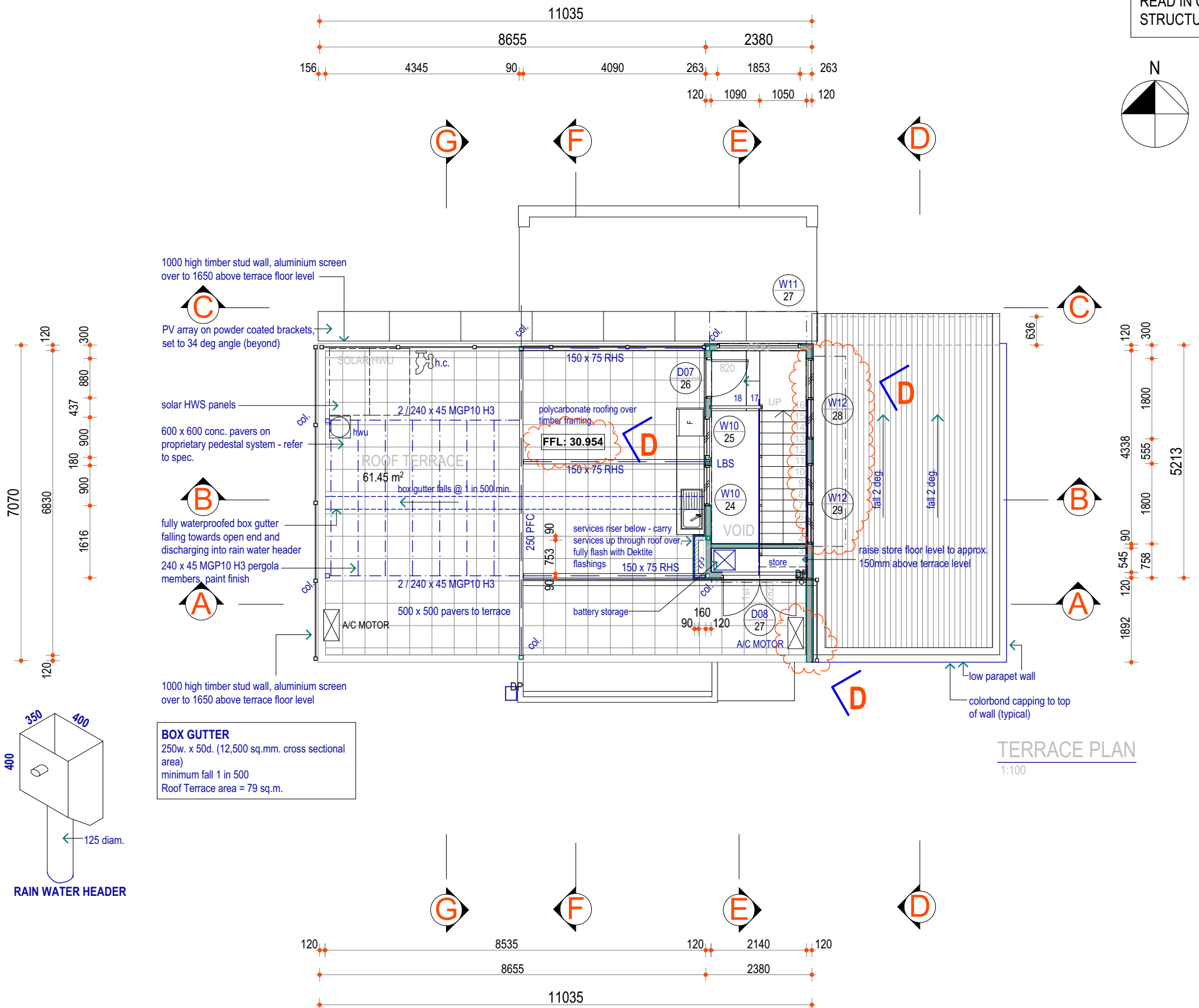
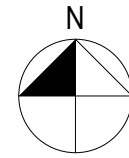
Drawing:
First Floor Plan

D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
B	issued for pricing	19/8/2015
A	planning	-/1/2015
REV.	AMENDMENT	DATE

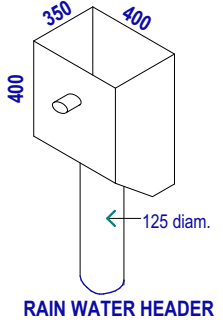
Date:	22/02/2016	Drwn:	JC
Job No.:	1517	Dwg No.:	A202
The builder must verify all dimensions on site before commencing any work or shop dwgs.			

amended DA

NOTE:
 READ IN CONJUNCTION WITH
 STRUCTURAL ENGINEERS DETAILS



BOX GUTTER
 250w. x 50d. (12,500 sq.mm. cross sectional area)
 minimum fall 1 in 500
 Roof Terrace area = 79 sq.m.

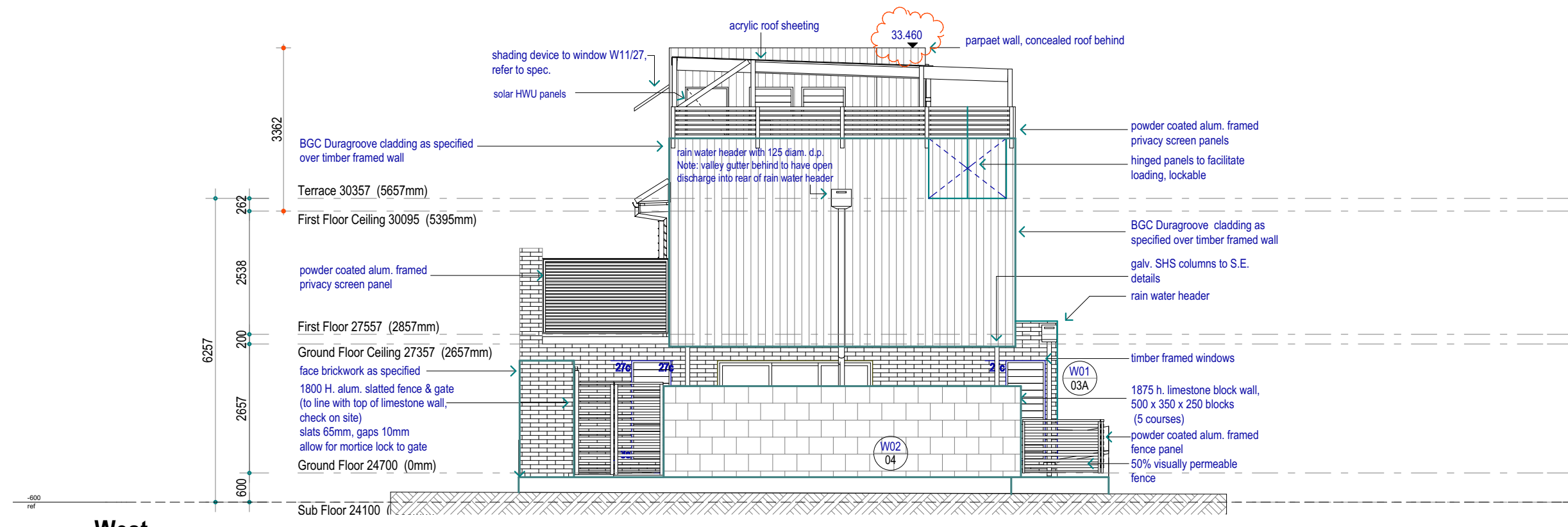
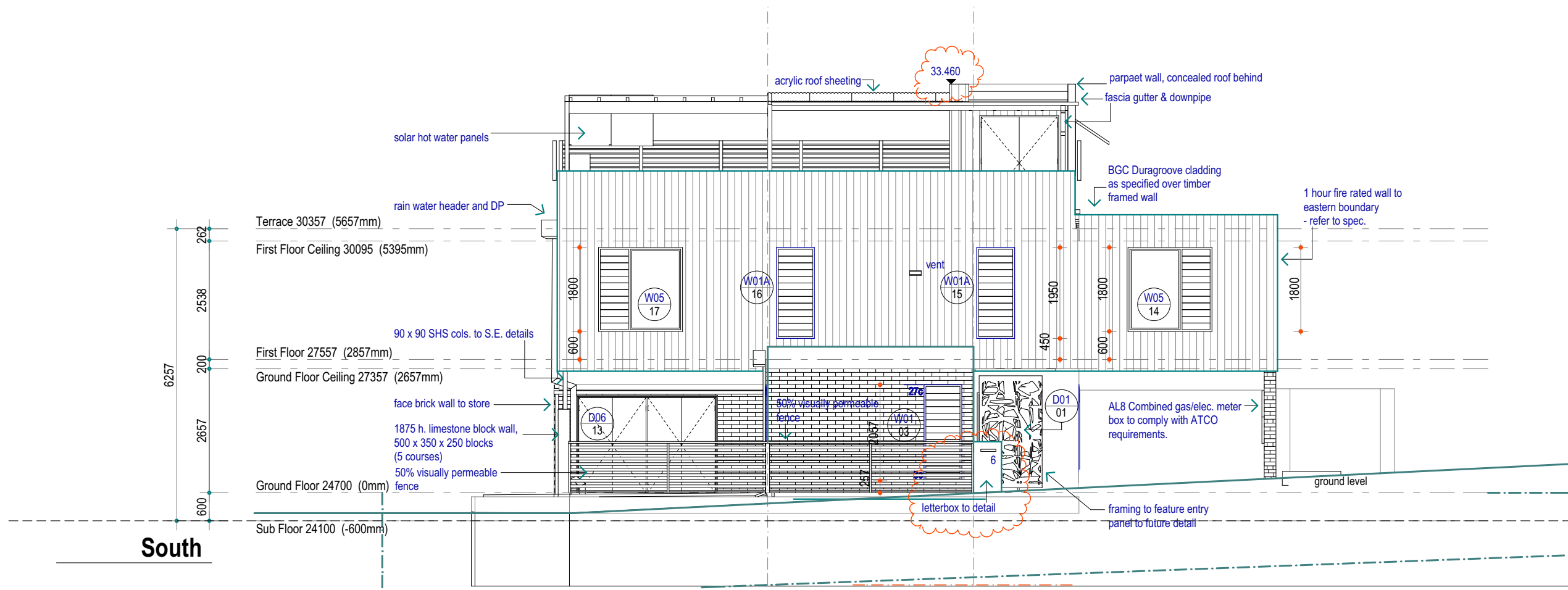


TERRACE PLAN
 1:100

D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
B	issued for pricing	19/8/2015
A	planning	-/1/2015
REV.	AMENDMENT	DATE

Date:	22/02/2016	Drwn:	JC
Job No.:	1517	Dwg No.:	A204
Rev D			
The builder must verify all dimensions on site before commencing any work or shop dwgs.			

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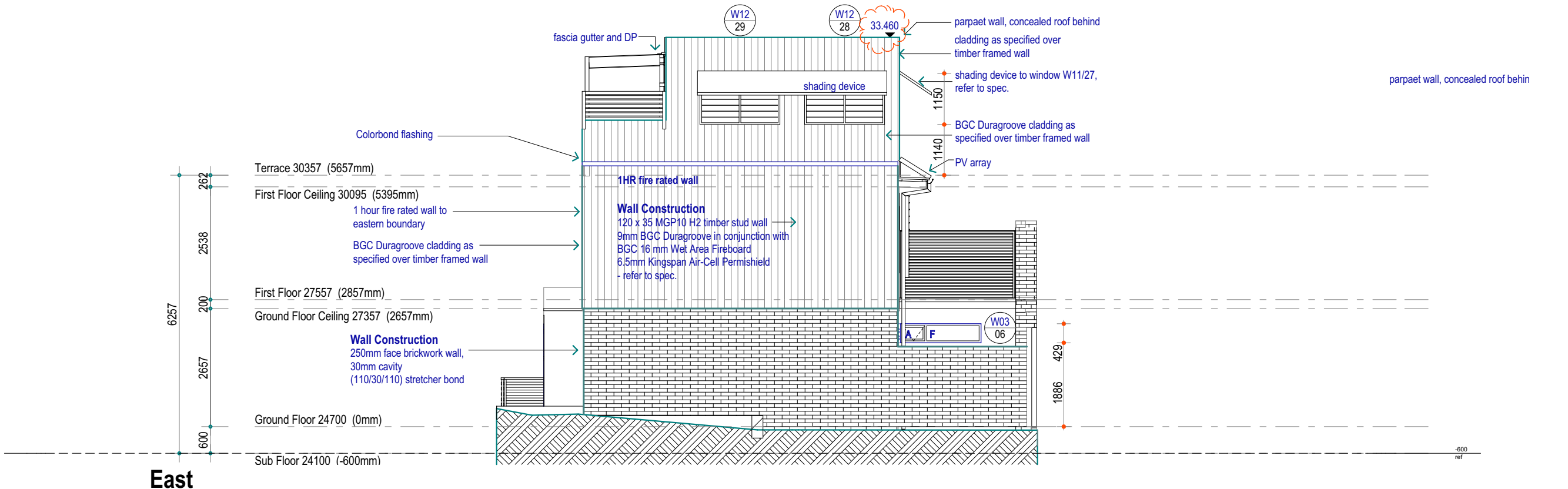
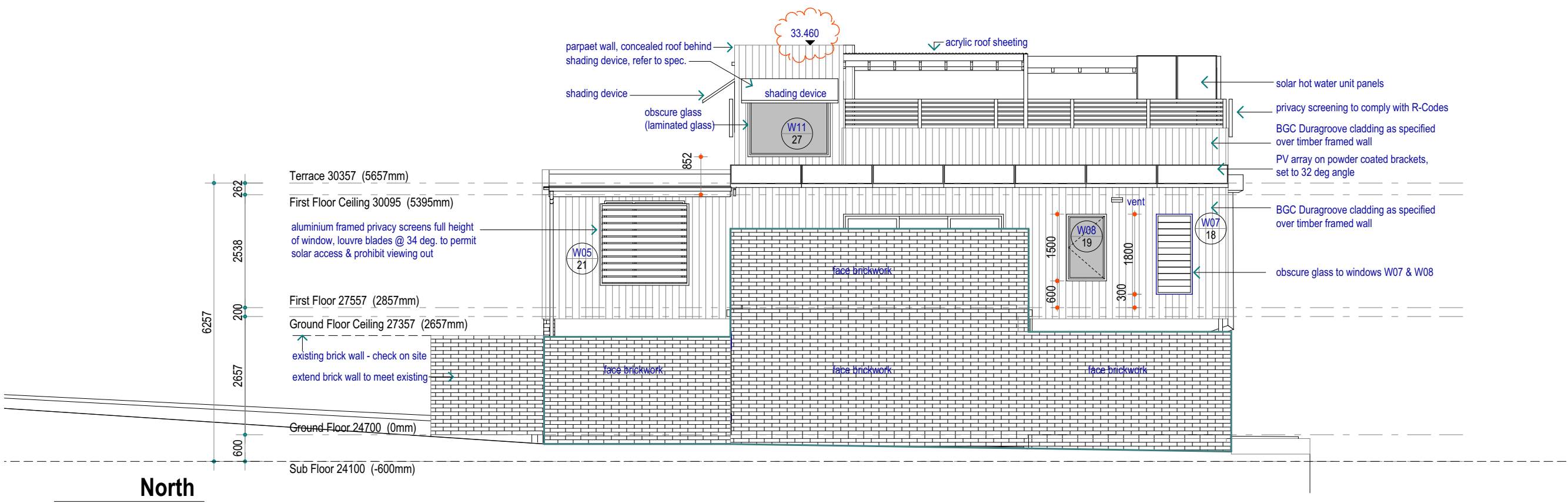
Project:
James House
6 Sekem St.
North Perth

Drawing:
Elevations 1

D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
B	issued for pricing	19/8/2015
A	planning	-/1/2015
REV.	AMENDMENT	DATE

Date:	22/02/2016	Drwn:	JC
Job No:	1517	Dwg No.:	A301
The builder must verify all dimensions on site before commencing any work or shop dwgs.			

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Project:
James House
6 Sekem St.
North Perth

Drawing:
Elevations 2

REV.	AMENDMENT	DATE
D	issued for amended DA	21/2/2016
C	issued for building permit	10/12/2015
B	issued for pricing	19/8/2015
A	planning	-/1/2015

Date:	22/02/2016	Drwn:	JC
Job No:	1517	Dwg No.:	A302
D			
The builder must verify all dimensions on site before commencing any work or shop dwgs.			