



08 July 2015

Planning Department
 City of Vincent
 244 Vincent Street,
 Leederville, WA 6007



Attn: Adam Dyson

Dear Mr Dyson,

RE: PROPOSED 4 SINGLE HOUSE (THREE STOREYS) ON LOT 1 (62) ROBINSON AVENUE, PERTH

We refer to the above development application and the subsequent City's letter dated 28 May 2015, requesting additional information to be provided in the form of written justification and/or amended plans. Planning Design Group (PDG) acts on behalf of SUMMIT PROJECTS with respect to this planning application for approval to develop 4 Single House (Three Storeys) on **Lot 1 (62) Robinson Avenue, Perth** (subject site).

The Design Report outlines how the proposed development complies with the relevant planning objectives contained in the R-Codes or City of Vincent Town Planning Scheme No. 1 and policies.

DESIGN REPORT

4 SINGLE HOUSE (THREE STOREYS) ON LOT 1 (62) ROBINSON AVENUE, PERTH

Zoning	Residential
Density coding	R80
Lot area	458 sq. metres



Figure 1 - Subject Site

DESCRIPTION OF THE LOCALITY

The subject site is located within close proximity of public amenities such as other regional road – William, high frequency bus routes, public open space and commercial zone along William Street. The subject site is in close proximity of Northbridge precinct which is predominantly ethnic precinct, including Asian and Mediterranean cuisine and nightlife district. The subject site is located within walking distance (800m) to the nearest train station – future Perth City Link.



Figure 2 – Zoning Plan

The subject site has dual frontages - Robinson Avenue on the southern boundary of the property and the northern boundary faces Brisbane Terrace. The site is also well serviced by existing road network with William Street located to the east of Robinson Avenue. The surrounding residential area situated along Robinson Avenue and Brisbane Terrace consists of medium density residential with a coding of R80.

The Western Australian Planning Commission has recently conditionally approved 4 survey strata lots subdivision under **WAPC Ref No: 1229-14** on **3 February 2015**. The approved subdivision layout reflects 2 lots side by side fronting Robinson Avenue and the other 2 lots have frontage to Brisbane Terrace. Each lot has a proposed lot area 114sqm with a minimum frontage of 7.45m. Refer to **Appendix A** – WAPC approved subdivision layout.

The area immediately surrounding the site is residential in nature comprising predominantly single houses and grouped dwellings, ranging from single storey to three storey building height. **Figure 1** above indicates the location of the subject property. The site slopes significantly from the northern boundary (Brisbane Terrace) down to the southern boundary (Robinson Avenue). There is a significant difference of 2.20m from the highest to the lowest point of the site.

PLANNING FRAMEWORK

Metropolitan Region Scheme (MRS)

The subject site is zoned 'Urban' under the Metropolitan Region Scheme, which is an appropriate land use zoning for this development.

City of Vincent – Town Planning Scheme No. 1

The subject site currently features land use of 'Residential' R80 under City of Vincent Town Planning Scheme No. 1 (TPS 1). The proposed 'Single House' use is consistent with Clause 13 & Zone Table of TPS1. 'Single House' in the Residential zone have a 'P' use classification which means that the land use is permitted by the Scheme, subject to the development satisfying the development standards under the Scheme.

The Scheme area is divided into 15 precincts and the subject site is located within Precinct 12 - Hyde Park. The proposed development under density coding of R80, generally complies with the TPS1, the R-Codes and relevant Council policies as discussed below.

Residential Design Elements Policy

In accordance to Clause 2.0 of City of Vincent Residential Design Elements Policy are to:

- encourage residential development that harmonises with the existing streetscape and complements the character of the locality;
- promote housing design of the highest possible quality;
- manage residential development in a way that recognises the needs of innovative design and contemporary lifestyles;
- clarify the assessment provisions in order to create consistent and desired residential development outcomes for all stakeholders;
- encourage building design that incorporates sustainable and energy efficient design that befits the local climate and provides comfortable living conditions;
- respect places of State and local heritage significance;
- encourage a diversity in housing styles, while facilitating new residential development that complements the character of the street;
- promote 'Crime Prevention Through Environmental Design' (CPTED) principles in residential developments.

PROPOSED DEVELOPMENT

The proposal involves the demolition of the existing development and the construction of a 4 Single House on the site. The proposed development contains two (2) three storey dwellings addressing both public streets providing an excellent level of passive surveillance over the public realm.

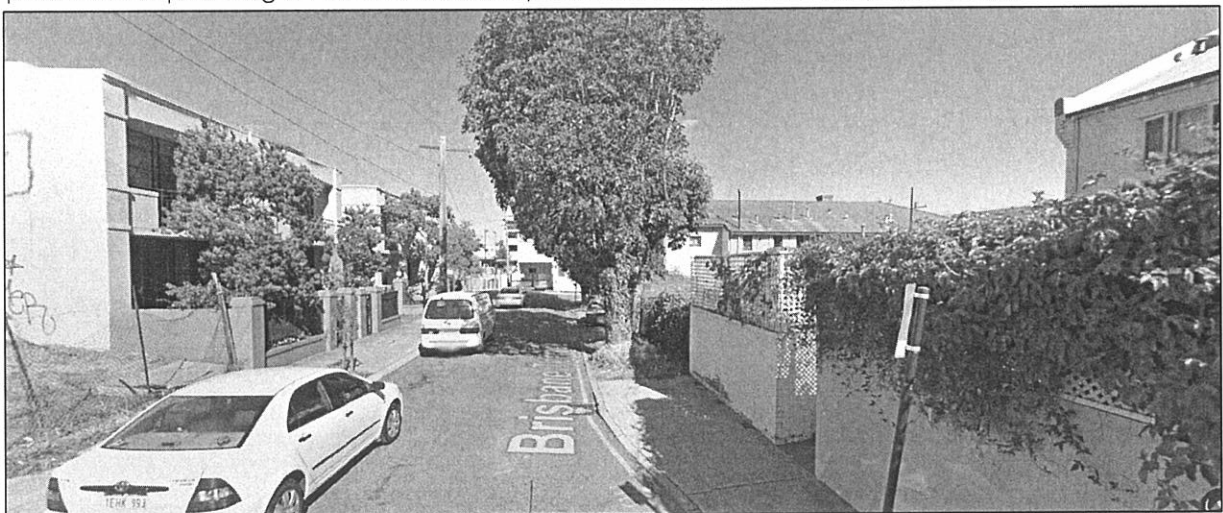


Figure 3 - Existing streetscape character at Brisbane Terrace

The proposed dwellings facing the public streets respects the natural ground level of the land as viewed from the street and maintains the prevailing streetscape character. Additionally, the proposed development incorporates design elements such as face brick with contrasting painted render and concealed roof that are consistent with the existing streetscape character ie: Brisbane Terrace.



Figure 4 - Existing streetscape character at Robinson Avenue

The following table summarises the particulars of the proposed development.

Unit	Development Component
Unit 1 Exclusive lot area -114m ²	3 bedroom dwelling; Double garage; Balcony min size 2.4m and area of 17m ²
Unit 2 Exclusive lot area -114m ²	3 bedroom dwelling; Double garage; Balcony min size 2.4m and area of 17m ²
Unit 3 Exclusive lot area -114m ²	3 bedroom dwelling; Double garage; Balcony min size 2.4m and area of 17m ²
Unit 4 Exclusive lot area -114m ²	3 bedroom dwelling; Double garage; Balcony min size 2.4m and area of 17m ²

The lot is already connected to sewer, water, power and gas, although these will be modified where required to facilitate the proposed development and ensure only one connection point for each service.

COMPLIANCE WITH DESIGN PRINCIPLES

Planning Design Group (PDG) acts on behalf of Summit Projects to provide following response to matters raised in your letter based on the numeric order. Amended plans or written justification addressing the relevant design principles for the City's consideration are required to address the following:

1. Street Setbacks – Residential Design Elements Policy 7.2.1 Clause 6.4.2
2. Dual Street Frontages – Residential Design Elements Policy 7.2.1
3. Setback of Garages and Carports- – Residential Design Elements Policy 7.2.1 Clause 6.4.2
4. Roof Forms – Residential Design Elements Policy 7.2.1 Clause 7.4.3
5. Lot boundary setback – Residential Design Codes Clause 5.1.3
6. Open space – Residential Design Codes Clause 5.1.4
7. Building Height – Residential Design Elements Policy 7.2.1 Clause 7.4.5
8. Garage width – Residential Design Codes Clause 5.1.4
9. Outdoor living area – Residential Design Codes Clause 5.3.1
10. Site work – Residential Design Codes Clause 5.3.7
11. Visual privacy – Residential Design Codes Clause 5.4.1
12. Utilities and facilities – Residential Design Codes Clause 5.4.5

JUSTIFICATION OF DESIGN ELEMENT

The R-Codes provides the 'Deemed to comply' provisions as one way of achieving a satisfactory design outcome. The R-Codes further provides that development that complies with the 'Design Principles' under the corresponding section of the Codes can be supported. Clause 2.5.1 of the R-Codes states that in considering a development on the design principles, the corresponding Deemed to comply provisions should not be applied.

The proposed variations to the Deemed to comply provisions contained in this development application are therefore is considered to comply with the provisions of the R-Codes based on their merits.

1. Street Setbacks – Residential Design Elements Policy 7.2.1 Clause 6.4.2

The Design Principles contained under – Street Setback SPC5 P3.1 of the Residential Design Elements Policy 7.2.1 state:

"(i) Development is to be appropriately located on site to:

- Maintain streetscape character;
- Ensure the amenity of neighbouring properties is maintained;
- Allow for the provision of landscaping and space for additional tree plantings to grow to maturity;
- Facilitate solar access for the development site and adjoining properties;
- Protect significant vegetation; and
- Facilitate efficient use of the site.

(ii) Variations to the Deemed-to-Comply Criteria relating to upper floor setbacks may be considered where it is demonstrated that the lesser upper floor setbacks incorporate appropriate articulation, including but not limited to; varying finishes and staggering of the upper floor walls to moderate the impact of the building on the existing or emerging streetscape and the lesser setback is integral to the contemporary design of the development."

The proposed street setback from Robinson Street is 4.14m from Robinson Street in lieu of 5.0m. The 0.86m setback variation is considered negligible and is considered to meet with the Design principles provision of SPC5. Given the tight and small lot size of 114sqm, the upper storey and balcony are setback 4.1m from street boundary. The reduced setback is considered acceptable given:

1. The average of 5 properties on the left hand side of the development site have a street setback of approximately 5.5m with 3.0m high staircase wall sloping down into the front setback area. The other property on the right hand side (3 Brisbane Place) has a garage setback of 1.5m. Accordingly, the proposed setback of 4.14m is considered to be the average street setback along Robinson Avenue and does not detract from the residential streetscape character but contributes positively to the aesthetics of the streetscape;

2. Access to direct sunlight and ventilation to building of the adjoining property will not be affected. There is at least 3.0m building separation between the proposed development and existing adjoining dwelling (3 Brisbane Place). Overshadowing diagram demonstrated that the proposed development overshadowing cast onto adjoining garages, drying yard and staircase access;
3. As depicted on the drawings submitted, the front elevations are well articulated with varying materials, vertical fins and awnings to provide interest and variation to the facade. Large window opening with transparent glass balustrade to the upper floors and balcony provide further articulation to the overall building bulk. The second floor building bulk from the Dining-Living wall is setback 6.5m from the street;
4. The architectural concept is a minimalist and contemporary cube built form. Therefore the requirement to set back the upper floor balcony by 1.0m will greatly impact on the contemporary cube concept; and
5. Most importantly, the required 7.5m upper storey street setback will significantly reduce the efficient use of the already tight site and greatly jeopardise the functionality of proposed dwellings. As depicted in the submitted drawings, the First floor accommodates required 3 bedrooms with associated services ie: bathroom and circulation corridor.

Based on the above, the proposed setback variation is considered to satisfy the Design Principles contained in Clause 6.4.2 of Street Setback SPC5 P3.1 of the Residential Design Elements Policy 7.2.1.

2. Dual Street Frontages – Residential Design Elements Policy 7.2.1

As demonstrated in the depicted drawings and above justifications, both units facing Brisbane Terrace is observed to comply with the following Design Principles of SPC 10 - Dual Street Frontages and Corner Sites of the Residential Design Elements Policy 7.2.1 which state:

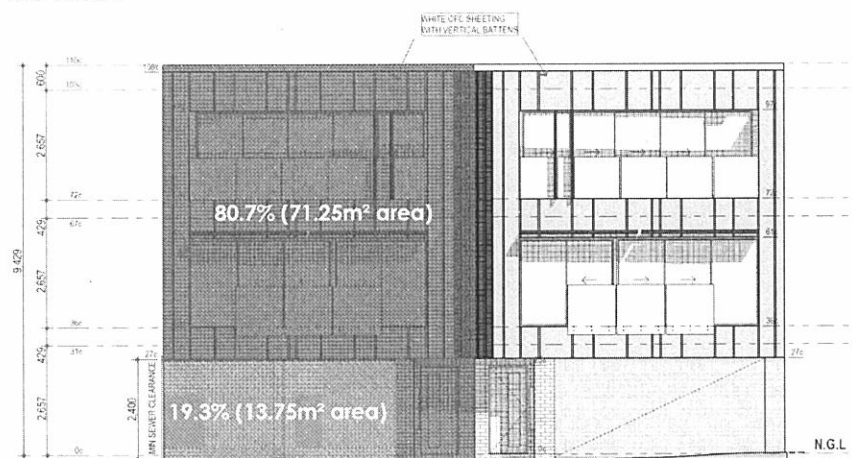
"Dwellings on dual street frontages or corner lots are to present an attractive and interactive elevation to each street frontage. This may be achieved by utilising the following design elements:

- Wrap around design (design that interacts with all street frontages);
- Landscaping;
- Feature windows;
- Staggering of height and setbacks;
- External wall surface treatments and finishes; and
- Building articulation."

The front elevations are well articulated with varying materials, vertical fins and awnings to provide interest and variation to the street facade. Large window opening with transparent glass balustrade to the upper floors and balcony provide further articulation to the overall building bulk.

3. Setback of Garages and Carports- – Residential Design Elements Policy 7.2.1 Clause 6.4.2

The proposed garage is 4.1m from the street boundary which is aligned with rest of the proposed building line in lieu of a minimum 0.5m setback behind the main building line. We strongly believe that the garage door is not the dominant feature of the proposed 3 storey dwelling. As demonstrated below, the garage door for each dwelling covers a mere 19.3% of the overall building facade area that is visible from the street.



The amended drawings also depicted "Visually Permeable" garage door, thereby minimising its bulk whilst maintaining reasonable visibility between the dwelling and the street. We respectfully request the City to consider this variation as any further setback of the proposed garage will greatly impact on the efficient use of the ground floor garage and office.

4. Roof Forms – Residential Design Elements Policy 7.2.1 Clause 7.4.3

The proposed design of the dwellings have concealed flat roof which a crucial design element of the contemporary concept in lieu of required pitch roof (30-45 degrees).

The proposed flat roof actually improves the amenity of the adjoining properties in terms of reducing the overall building bulk and overshadowing cast onto the adjoining property. The proposed roof form design is also considered to compatible with the existing development (1/2 Brisbane Terrace) which is located directly across Brisbane Terrace from the development site. Refer to above **Figure 3**.

The proposed roof form which has no impact on amenity of adjoining properties or the existing streetscape therefore is considered to satisfy the Design principles of Clause 7.4.3 of the Residential Design Elements Policy 7.2.1 Clause 7.4.3.

5. Lot boundary setback – Residential Design Codes Clause 5.1.3

The Design Principles contained under Clause 5.1.3 – Lot Boundary Setback, P3.1 of the Residential Design Codes 2013 (R-Codes) state:

P3.1 – *"Building set back from lot boundaries so as to:*

- *Reduce the impacts of building bulk on the adjoining properties;*
- *Provide adequate direct sun and ventilation to buildings and open spaces on the site and adjoining properties; and*
- *Minimise the extent of overlooking and resultant loss of privacy on adjoining properties."*

Given the tight and small lot size, the proposed walls setback for **Unit 2 & 3 along the eastern boundary** is proposed:

- Ground Floor (Office – Laundry) – 1.37m in lieu of 1.5m;
- First Floor (Bed 3) – 1.3m in lieu of 1.5m;
- Second floor (Kitchen / Dining) – 1.3m in lieu of 1.7m.

The reduced side setback is considered acceptable given:

1. The office - laundry wall is located at ground level and therefore does not cause a building bulk impact on the adjoining property as majority bulk of the wall will be obscured behind 1.8m high dividing fence;
2. The proposed eastern wall is well articulated with appropriate setback to the lot boundary to reduce visual bulk impact;
3. There is at least 3.0m building separation between dwellings which will maintain ample distance for direct sun access and ventilation to adjoining property (3 Brisbane Place);
4. The proposal complies with the Deemed-to-comply provision of Clause 5.4.2 – Solar access for adjoining site of the R-Codes that its shadow cast at midday, 21 June does not exceed 50 percent of the adjoining site; and
5. Privacy of adjoining properties is maintained through appropriate building design measures in accordance with the Visual Privacy provisions of the R-Codes.

The development allows access to natural sunlight for the dwelling, allows appropriate open space for residents and results in building bulk that is consistent with the expectation for development at the R80 density. Therefore the above justification should be considered and supported based on its merits.

The Design principles under Clause 5.1.3 P3.2 of the R-Codes provides that:

"Buildings built up to boundaries (other than the street boundary) where this:

- *makes more effective use of space for enhanced privacy for the occupant/s or outdoor living areas;*
- *does not compromise the Design principle contained in clause 5.1.3 P3.1;*

- does not have any adverse impact on the amenity of the adjoining property;
- ensures direct sun to major openings to habitable rooms and outdoor living areas for adjoining properties is not restricted; and
- positively contributes to the prevailing development context and streetscape."

The proposed **western boundary walls** to more than one side boundaries are necessary to provide effective use of space for the occupants so that sufficient habitable area can be provided at the tight and small site. Notwithstanding the above, the development is considered to satisfy the Design principles based on the following grounds:

1. Majority of the western boundary of Unit 1 & 4 is directly abutting an existing boundary wall of House no. 64A Robinson Avenue which is 3 storey in height; and
2. Therefore, the proposed boundary wall does not restrict direct sun and ventilation to the adjoining dwelling;
3. The proposed boundary walls are located behind street setback line which will not impacting on the prevailing streetscape or detracts from the residential streetscape character. Its boundary wall is observed to consistent with the existing streetscape which abuts a row of linked houses (64 – 70A) Robinson Avenue which have similar 3 storey high party walls in between the units; and
4. The proposed development maintain appropriate open space for residents and results in building bulk that is consistent with the expectation for development for Hyde Park Precinct.

Based on the above report, it is considered that the proposed development is considered to be compliant with the above Design principles in that the proposed boundary walls do not negatively impact on adjoining properties or the streetscape. The proposed development is considered appropriate in the context of the desired intent and built form of the locality.

6. Open space – Residential Design Codes Clause 5.1.4

The development proposes a minor (4.5% to 5.9%) variation to the open space requirement for the R80 density under Table 1 of the R-Codes. The development is considered to satisfy the design principles under Cl. 5.1.4 P4 of the R-Codes in that the development allows access to natural sunlight for the dwelling, allows appropriate open space for residents and results in building bulk that is consistent with the expectation for development at the R80 density.

7. Building Height – Residential Design Elements Policy 7.2.1 Clause 7.4.5

The permissible building height is 2 storeys with 10m building height limit, and the proposed development comprised of 3 storeys with 10.7m measured from the natural ground level. However, the City's Policy No. 7.5.11 – Exercise of Discretion for Development Variations permits the Council to consider an Application with respect to a variation to the number of storeys. The application has demonstrated compliance with the Essential Criteria (EC), permit in addition to at least one Additional Requirement (AR) as listed below:

2 or 3 storeys with 1 additional storey variation

Essential Criteria (EC)	Proposed Development
EC 1.1 The variation will not be detrimental to the amenity of the locality, nor will it result in development that would adversely affect the significance of any heritage place or area;	The proposed development consistent with existing streetscape in the locality with nil side setback and 3 storey overall building bulk. Refer to Figure 4 above.
EC1.2 The site is zoned Residential R60 and above, Residential/Commercial, District Centre, Local Centre or Commercial; and	The site is zoned Residential R80.
EC1.3 The proposed development incorporates exemplary design excellence and has the positive recommendation of the City's Design Advisory Committee.	As depicted on the drawings, the proposed contemporary built form, its design articulation with varying materials, vertical fins and awnings have demonstrate design excellence that will contribute positively.

The proposed development meets with the below Additional Requirements (AR) which states:

“AR 1.3 the proposed development incorporates sustainable design features which would qualify the development to receive a rating which significantly exceeds that required under the statutory minimum as assessed by an Organisation recognised by the Council.”

As demonstrated on the drawings, north facing window openings to habitable rooms are maximised with roof and balcony overhangs to provide adequate shading during hotter months. Eastern and western walls have minimal window openings to habitable rooms to reduce excessive heat gain. Appropriate roof insulation and masonry wall material are specified accordingly in order to meet stringent 6 Star Energy Efficiency rating as required under Building Code of Australia. These are demonstrated as part of the documentation to be submitted during Building Permit application.

8. Garage width – Residential Design Codes Clause 5.1.4

Please refer to above justification under Item 3 – Setback of Garage. The **amended drawings** depicted visually permeable garage door to minimise its bulk whilst maintaining reasonable visibility between the dwelling and the street.

9. Outdoor living area – Residential Design Codes Clause 5.3.1

The proposed balconies or equivalent to an outdoor living area is capable of use in conjunction with a habitable room (Living room) for all the dwellings. The proposed balcony size meets with minimum size of 2.4m and has a usable area of 17m². Where possible, the proposed balcony for Unit 3 & 4 is taking advantage to the northern winter sun aspect.

Accordingly, the balconies or equivalent to an outdoor living area satisfies the Design principles of Cl. 5.3.1 P1.2.

10. Site works – Residential Design Codes Clause 5.3.7

As depicted in drawings, the site slopes significantly from the northern boundary (Brisbane Terrace) down to the southern boundary (Robinson Avenue). There is a significant difference of 2.20m from the highest to the lowest point of the site. The adopted finished floor levels of the proposed dwellings appropriately respond to the sloping nature of the site as consistent with Clause 5.3.7 P7.1 of the R-Codes.

It is necessary to cut and retain the western and northern side of the site to achieve equal cutting and filling for practical use of habitable rooms of the proposed units. Given the highest portion of the excavation is set at the rear of development along the eastern boundary, it does not impact on the natural ground level as viewed from the street and is therefore consistent with Clause 5.3.7 P7.2 of the R-Codes. The proposed units facing both the public streets respects the natural ground level of the land as viewed from the street and maintaining the prevailing development context and streetscape character.

Given the above, the proposed site works is considered to satisfy the Design Principles of Clause 5.3.7 of the R-Codes.

11. Visual privacy – Residential Design Codes Clause 5.4.1

The Design Principles contained in Clause 5.4.1 – Visual Privacy, P1.1 of the Residential Design Codes 2013 (R-Codes) states:

“Minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:

- *building layout and location;*
- *design of major openings;*
- *landscape screening of outdoor active habitable spaces; and/or*
- *location of screening devices.”*

The design proposal specifically relates to major opening of upper floor activity room is considered to meet the Design Principles for Visual Privacy based on the following reasons:

1. The line of sight within the cone of vision from the Unit 4 Balcony and Bedroom 1 does not have adverse impact on the privacy of the adjoining dwellings major openings;
2. The line of sight within the cone of vision overlooks onto the small portion of north eastern corner of the garden of House No. 64 Robinson Avenue, which is the not considered as the outdoor sensitive area, which have mature vegetation;
3. Additional architectural fins are incorporated (as depicted in the **amended drawings**) to minimise direct overlooking to adjoining property. The additional fins will restrict straight line of sight onto the public street instead of 45 degree angle view to adjoining property.

Given the above, it is considered to satisfy the Design Principles contained in Clause 5.4.1 – Visual Privacy, of the Residential Design Codes 2013 (R-Codes).

12. Utilities and facilities – Residential Design Codes Clause 5.4.5

The proposed development is considered as a Single House which is defined as a dwelling on its own survey strata lot without any common property.

Accordingly, the proposed development complies with Deemed-to-comply requirement of Clause 5.4.5 of the Residential Design Codes whereby a Single House does not require an enclosed, lockable storage area. Regardless, a storage area is provided under the stairs for the convenience of the occupant to store household items.

CONCLUSION

Based on the above report, it is considered that the proposed development is consistent with all the development standards under the relevant Local Planning legislation, R-codes and policies. As detailed in this report, there is a high level of compliance with the requirements of the planning framework. The proposed development is considered appropriate in the context of the desired intent and built form of the locality.

In light of the above information, it is respectfully requested that the City of Vincent give timely consideration and approve the proposed development.

Should you require any further information, please contact the undersigned on 0431 157 868 or email me on peter@planningdg.com

Thank you

Yours sincerely,



PETER NG
DIRECTOR

Master Urban & Regional Planning (Curtin)

Bachelor of Architecture (Hons) (Deakin)





12 October 2015

Planning Department

City of Vincent
244 Vincent Street,
Leederville, WA 6007

Attn: Adam Dyson

Dear Mr Dyson,

RE: **PROPOSED 4 SINGLE HOUSE (THREE STOREYS) ON LOT 1 (62) ROBINSON AVENUE, PERTH**

We refer to the application regarding the above mentioned development and the subsequent City's email dated 27 July 2015, requesting additional information be provided in the form of written justification and/or amended plans.

Planning Design Group (PDG) acts on behalf of Summit Projects to provide following response to matters raised in your letter based on the numeric order. Amended plans or written justification addressing the relevant design principles for the City's consideration are required to address the following:

1. *The verge tree in Brisbane Terrace must be retained – Unit 4 parking can't be achieved as designed.*
2. *Visual truncations are required to be provided within 1.5m of vehicle access points.*
3. *The applicant is advised that the site is within an area where the water table is high, with occasional reports of flooding. Expert opinion should be sought to assess whether the FFL's of the ground floor are adequate to prevent storm water ingress.*
4. *Information is required regarding the progress of the investigation of rerouting the City's storm water drainage which runs north/south inside the western boundary, between Robinson Avenue and Brisbane Terrace.*

1. The verge tree in Brisbane Terrace must be retained

Discussion with the City's Parks Department confirms and permits the existing street tree in Brisbane Terrace to be relocated to between the proposed crossovers of Unit 3 and 4. Refer to **amended drawings**.

2. Visual truncations are required to be provided within 1.5m of vehicle access points.

Based on the feature survey and street view provided, there are existing permanent structures on the boundary fence of adjoining properties which are outside the development site legal boundary. No solid structures are proposed within the visual truncation area of the development site. See site photos below showing existing solid front fence of adjoining properties.

Nevertheless, the driveway is setback at least 0.75m from the side boundary where it meets with the street boundary, providing a degree of unobstructed sight lines.

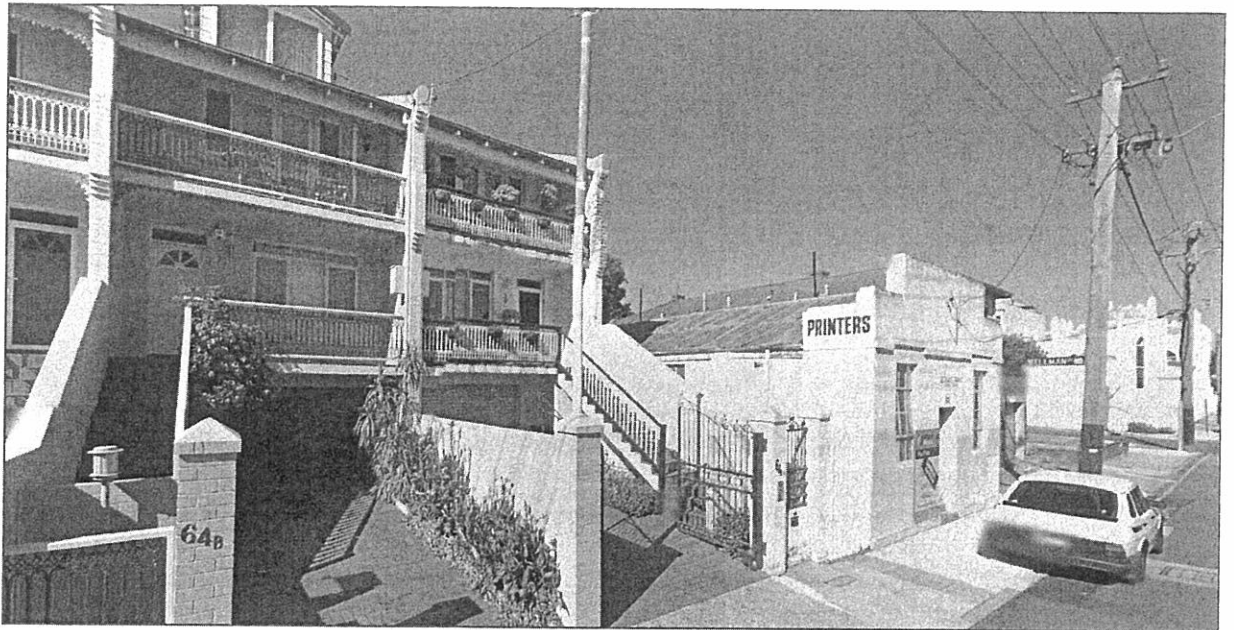


Figure 1 – Existing front solid street fence of adjoining property – 64A Robinson Ave.



Figure 2 – Existing rear solid street fence of adjoining property – 64A Robinson Ave.

3. The applicant is advised that the site is within an area where the water table is high, with occasional reports of flooding. Expert opinion should be sought to assess whether the FFL's of the ground floor are adequate to prevent storm water ingress.

Prompt Engineering has also provided engineering assessment of the minimum finished floor level (FFL) against the stormwater requirements of the proposed dwellings and recommending that the following minimum FFL:

- Units facing Brisbane Terrace – FFL 13.40
- Units facing Robinson Avenue – FFL 11.50

Kindly refer to attached **amended drawings** showing the revised FFL of ground floor as per Engineering recommendation.

4. **Information is required regarding the progress of the investigation of rerouting the City's storm water drainage which runs north/south inside the western boundary, between Robinson Avenue and Brisbane Terrace.**

As demonstrated on the **amended drawings** submitted, there have been some design changes to the ground floor layout. The proposed buildings are setback from the stormwater drainage alignment and therefore, maintaining the required clearance width for operation and maintenance activities of the stormwater pipeline located along the western boundary. The proposed dwelling structures are cantilevered above the drainage pipe alignment with at least 2.7m height clearance.

The stormwater drainage will be contained on site as per Prompt Engineering recommendation and required soakwell sizes.

5. CONCLUSION

Based on the above report, it is considered that the proposed development is consistent with all the development standards under the relevant Local Planning legislation, R-codes and policies. As detailed in this report, there is a high level of compliance with the requirements of the planning framework. The proposed development is considered appropriate in the context of the desired intent and built form of the locality.

In light of the above information, it is respectfully requested that the City of Vincent give timely consideration and approve the proposed development.

Should you require any further information, please contact the undersigned on 0431 157 868 or email me on peter@planningdg.com

Thank you

Yours sincerely,



PETER NG
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Master Urban & Regional Planning (Curtin)

Bachelor of Architecture (Hons) (Deakin)

