	87-89 Guth	rie Street, Osborne Pai	rk, Western Australia	esianer · Desian I	Better Buildings	Attachment 2  OLD
COTTAGE & ENGINE	Email : perth@	(08) 9446 7361   Facsi cottage.com.au   Webs	mile: (08) 9445 2998 ite: www.cottage.com	LIENT : Rispoli	160 Observa Otres t	AREA  Power Pole Phone
SURVEYS  Licensed Surveyors—		DATE: SCAI 28 23 Jul 15 1:20		0153,4 #172&		
▲DISCLAIMER: Lot boundaries drawn on survey are				LDERS DISCRETION. SEWER / DRA THIS SURVEY DOES NOT GUARAN		Plan1084
based on landgate plan only. Survey does not include title search and as such may not show	DISCLAIMER:	LINES. CHECK TITLE FOR				
easements or other interests not shown on pl Title should be checked to verify all lot details and for any easements or other interests whi	5	ERN POWER FOR SET-BACK	S.			
may affect building on the property. Survey does not include verification of cadast						
boundaries. All features and levels shown are based on orientation to existing pegs and fen- only which may not be on correct cadastral al	ces					
Any designs based or dependent on the locati existing features should have those features'	on of					
lecation verified in relation to the true bounds Survey shows visible features only and will no	ot					
show locations of underground pipes or condi- for internal or mains services. Verification of the location of all internal and mains services						
should be confirmed prior to finalisation of an design work.  ADISCLAIMER:	ny .					
Cottage & Engineering surveys accept no responsibility for any physical on site changes the parcel or portion of the parcel of land sho						
on this survey including any adjoining neighb levels and features that have occurred after t	ours					
date on this survey. All Sewer details plotted from information supplied by Water Corporati	ion.					
0.000 m						
LOT 4 MISCLOSE						
0.013 m					<b>&gt;</b> @	
SOIL DESCRIPTION Sand	Weather		Sewer Junction		O. V. Grass,	
Light Grass Cover	Galv. on	Stumps	Inv: 6.5 Depth: 0.9		Sewer Junction Inv: 6.4 Depth: 1.2	
Ш	Cle High Galv	Sheet 1	No	o Kerb	Sewer M/H NOTE: UP (7.52)	
	in Fair Co	PEG PEG	(L/Grass)	PEG	0	\$ \$ \frac{1}{2}
Z		0 8	° 11.06 № R.O.W WIDE	GONE S 11.2		Balcony Balcony
	T.O.W @ 8.10	GO (to be b	itumized and graded @ +2% RL 7.50	ofrom edge of exsting ROW)	GON T.O.W @ 8.10	
>		e nuop	Strip dra	ain	High Brick	
	Sliding	S PRC	POSED ETERSONE	ECTRI LA CONTRACTOR DE	Wall W/Pillars	
		∂ GA	RAGE L 7.686	<b>N</b> SAF	RAGE	Balcony
	High Brid Wall	k	300 4,000	F.F.L 7.857	7.686 6	
<u>                                     </u>	<del></del>		3,000			
	Sliding	PROPOSE	D	PROPOSEI UNIT 1		
	w	UNIT 4 F.F.L 8.20		F.F.L 8.20		_
	ŠI,	o	losd S	8.92	3.21	
2 Sorey Brick & Galv. Townhouse		CC.75	RL 8.3	RL 8.10	25 8	2 Storey Split Level
on Slab	Sliding	TOT 3		LOTA	32.	Brick & Tile on Slab #166
First floor		nuop.	T.O	1.W 3.90 9.50	9.25	
iž 🍴	П	PROPOSED	RL 8.9	PRO	PPOSED	<u> </u>
Щ		GARAGE F.F.L 8.986	RL 8.90 8	RL 8.90 GA	RAGE L 8.986 <b>●</b>	OVERSHADOWING
	Sliding			\$,470		SHOWN SHADED
Щ	. Щ	RL 9.057	P	P RI	9.057 0 F. T.O.W	•
	T.O.W @ 9.057	8.5	LEC RIC S	electric XX	T.O.W @ 10.00	1500 x 1500
Щ			OPOSED			soakwell w/tafficable lid
	Sliding	الرازارارارارارارارارارارارارارارارارارا	UNIT 3 .F.L 9.50		F.L 9.157	
	Gas Meter	S ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) (		F.F.L 9.50	GONE High-Brick	Key
	High Brick	000 000 11.00	RL 10.	14 8 High Call Sheets 14 Th Fair Condition 10.11 8 11.2	RL 9.40	T.O.W — Paving Area Total = 168,00m <sup>2</sup>
	10.08	10 13 Concrete 10	(W 10.14) 1 J	09 D 11 F	10HBih Te	Pheion
	PEG GONE	Closest High	n Tension	areas @ 10.14 Footpath	o Tree	r Pole »»» Opp.
▲ NOTE: CHECK SHIRE RE: AMALGAMATION BEWARE COU		Wire To Bo	Ø 0.1m/	GONE	7 Tree Brick Crossover	NOTE/BEWARE:ADVISE TRADES O/Head power lines
DELAY BUILDING LICENSE (AMALGAMATION PROAPPROX. 6-9 MONTHS)		0.00 Non 10.02 9.93 Mount 9.95	Ht 4 07  Ref Nail at base	10.05 Mount	10.21 10.14 Flush	
Scale 1:200	bri	0mm/H Piers w/- solid ck infill screen wall to on top of retaining wall	assumed datum	10.00 m	H Piers w/- solid Il screen wall to of retaining wall	
0 2 4 6 8	<u>on c</u>	,g	Charles S	Sueet —	or retaining wall	
		No DATE AN	MENDMENTS DWC Tender AS	- IOK NO: 4555		DEVELOPMENT ON
DESIGN BETTER		. 10/0-1/20 10	AS	DATE: 27-Apr-16	LOT 3 & 4 #1 CHARLES S	TREET,
Tel: (08) 9242 1999 Mob: 0417 907 012 www.designbetterbuildings.com.au	4			DRAWN: JF SCALE: 1:200	WEST PERT	
COPYRIGHT © THESE PLANS AND DRAWINGS ARE C OF DESIGN BETTER BUILDINGS	OPYRIGHT			PRINTED DATE: SHEET 10 of 10	FOR CLIENT	T: RISPOLI
					<u> </u>	



No	DATE	AMENDMENTS	DWG	IOB NO: 0555	PROPOSED DEVELOPMENT ON
1	15/04/2016	Tender	AS	30B NO. 3333	
				DATE: 27-Apr-16	LOT 3 & 4 #172 & 168 CHARLES STREET.
				DRAWN: JF	WEST PERTH
				SCALE: 1:100	
				PRINTED DATE: SHEET 1 of 10	FOR CLIENT: RISPOLI
	1 1				1 15/04/2016 Tender AS DATE: 27-Apr-16 DRAWN: JF SCALE: 1:100 PRINTED DATE:





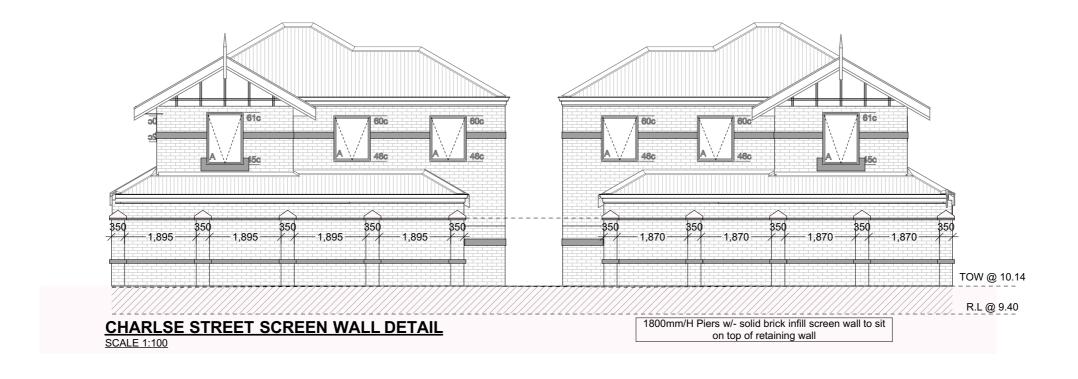
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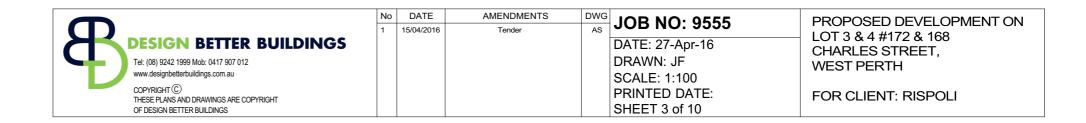
NO	DATE	AMENDMENTS	DWG	JOB NO: 9555	
	15/04/2016	Tender	AS	JOB NO. 9555	
				DATE: 27-Apr-16	
				DRAWN: JF	
				SCALE: 1:100	
				PRINTED DATE:	
				SHEET 2 of 10	

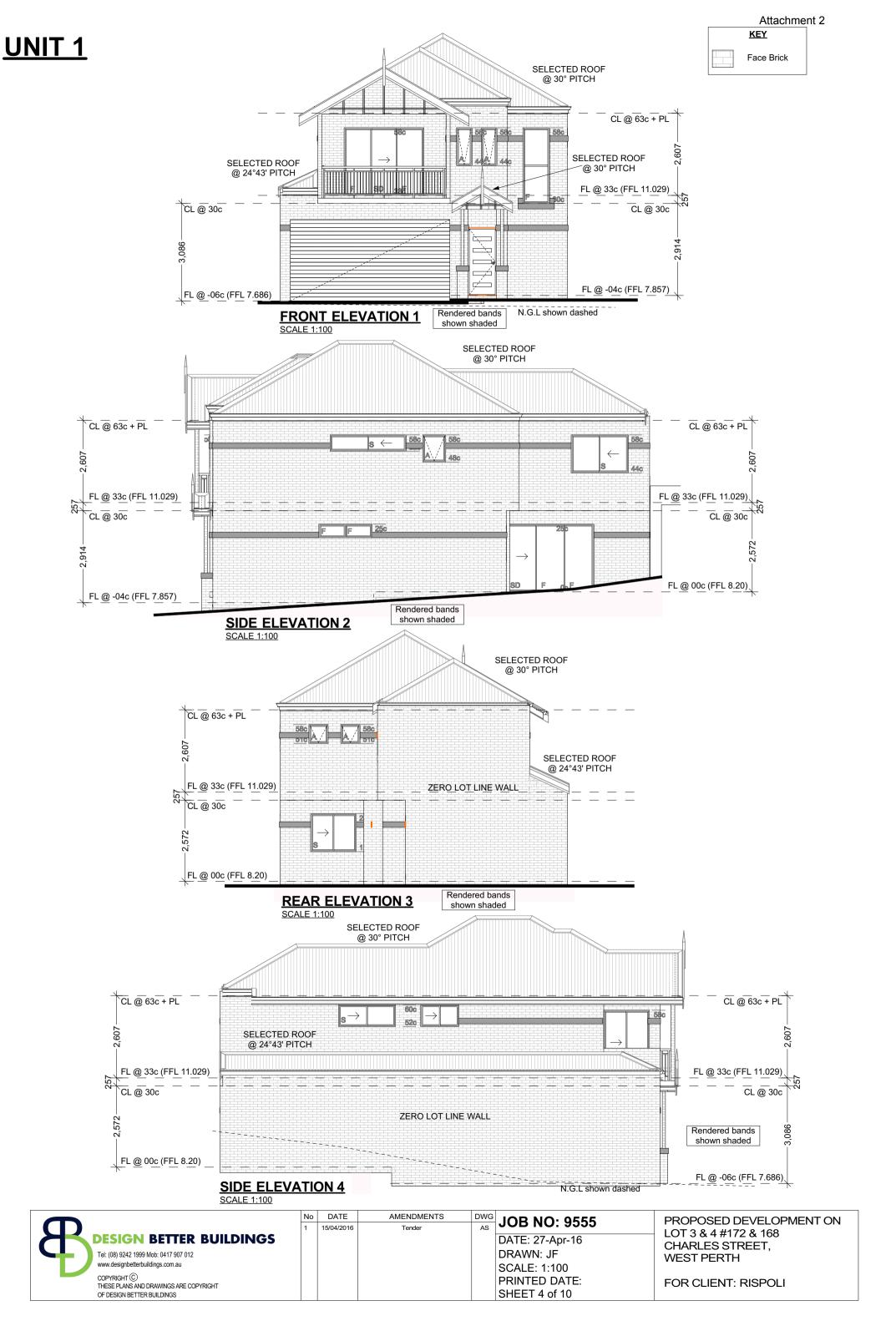
PROPOSED DEVELOPMENT ON LOT 3 & 4 #172 & 168 CHARLES STREET, WEST PERTH

FOR CLIENT: RISPOLI

## **UNIT 2 & 3 SCREEN WALL DETAIL**



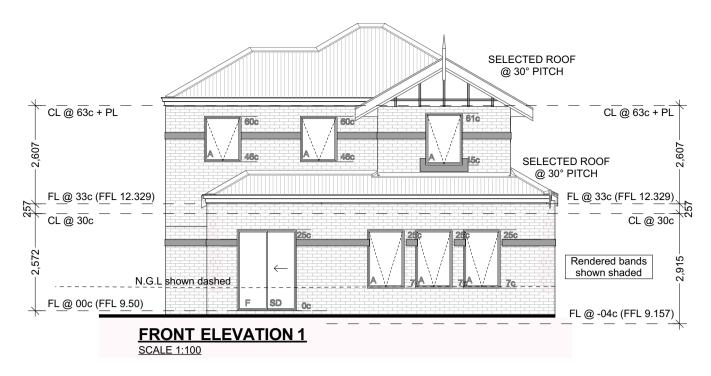


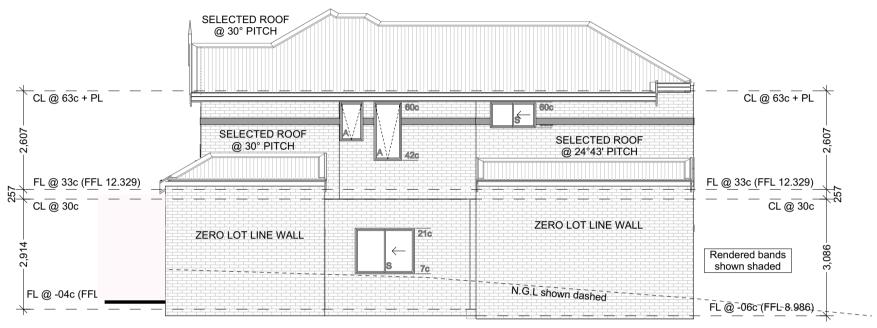


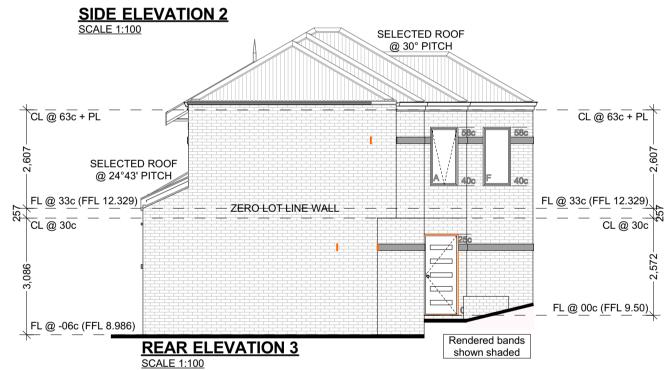
<u>KEY</u>

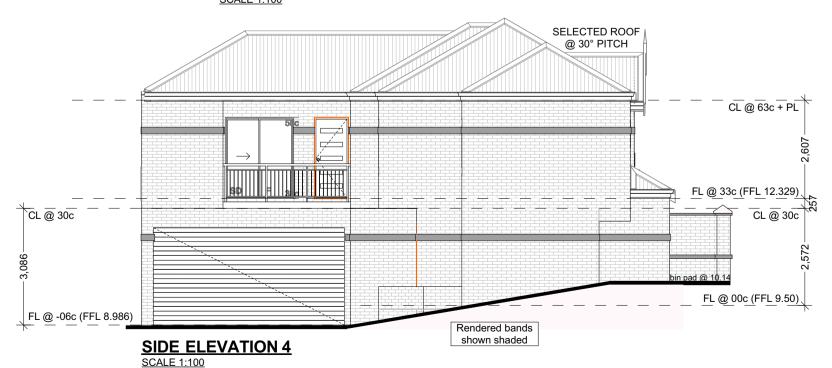
Face Brick

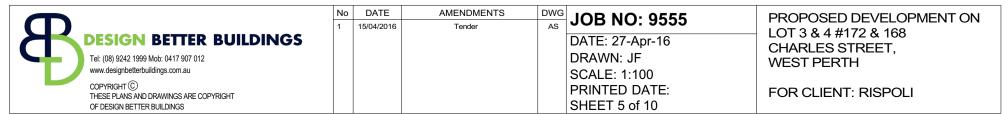
UNIT 2



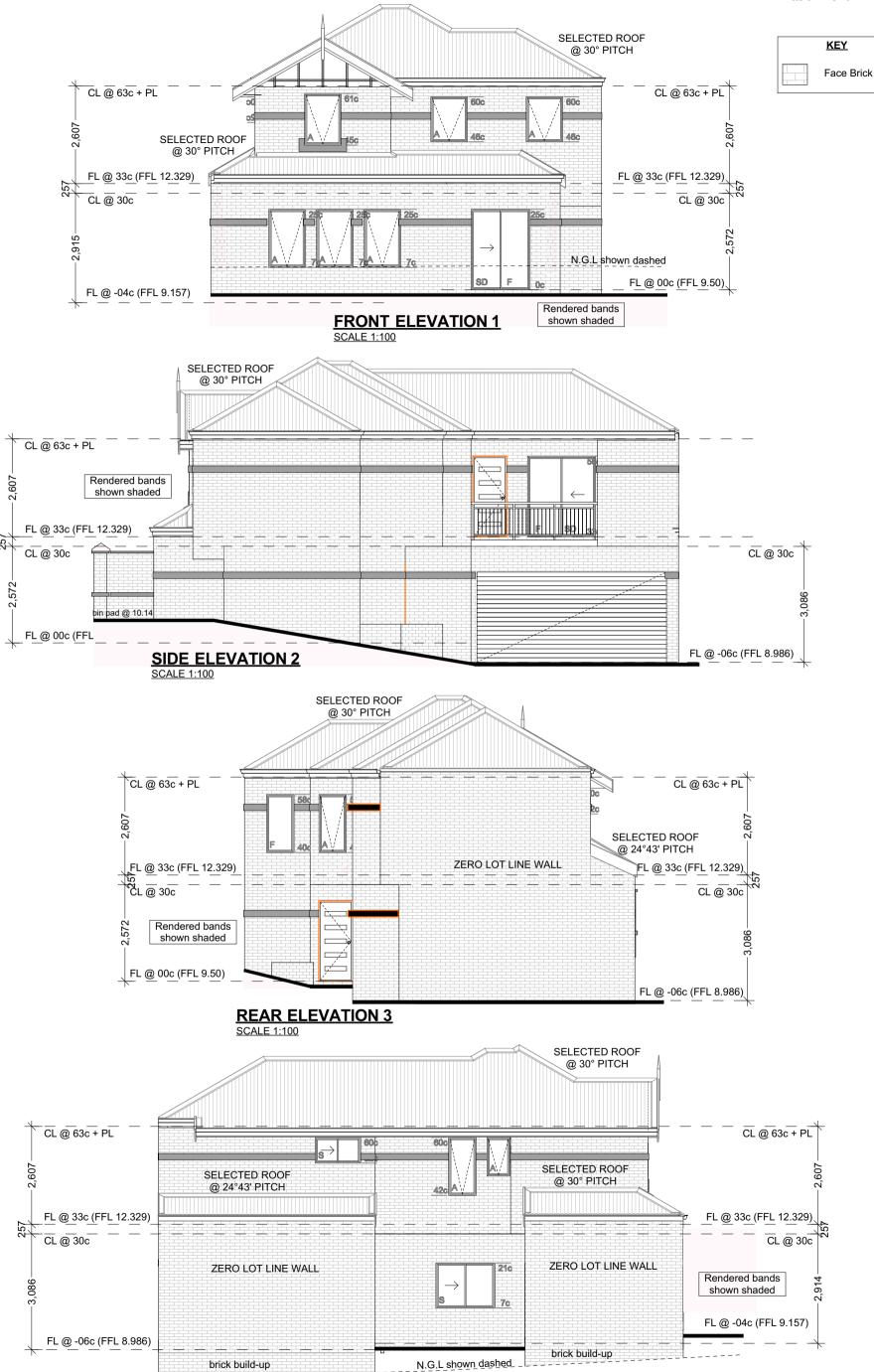








UNIT 3



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DATE AMENDMENTS No 15/04/2016 Tender

DWG **JOB NO: 9555** DATE: 27-Apr-16 DRAWN: JF

SCALE: 1:100

SHEET 6 of 10

PRINTED DATE:

**SCALE 1:100** 

**SIDE ELEVATION 4** 

PROPOSED DEVELOPMENT ON LOT 3 & 4 #172 & 168 CHARLES STREET, **WEST PERTH** 

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UNIT 4

