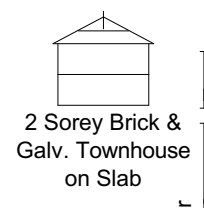
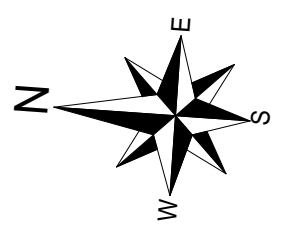


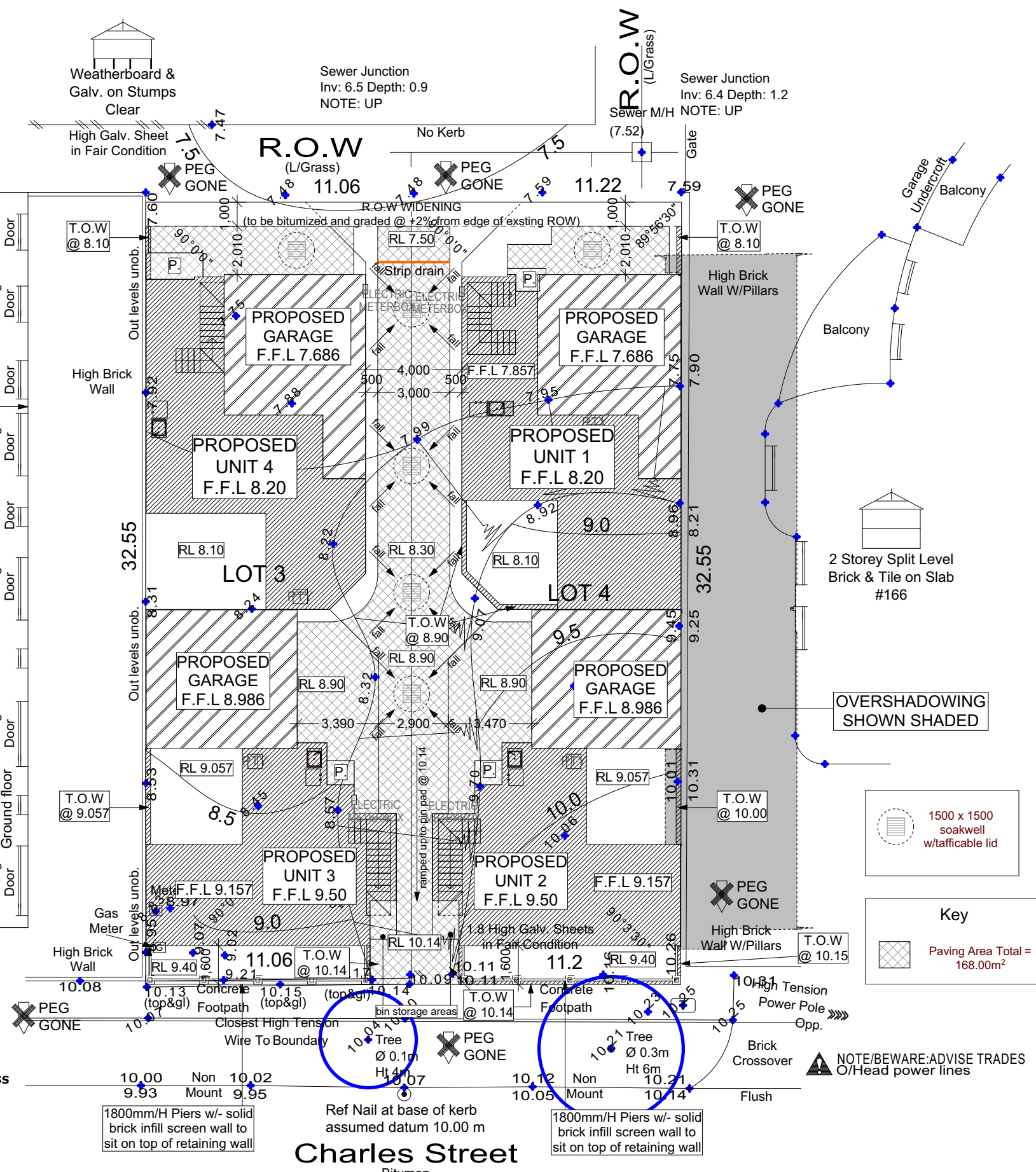
DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.
DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.
DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.
DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCE INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.
DISCLAIMER:
 HIGH TENSION POWER LINES. CHECK TITLE FOR EASEMENTS AND WESTERN POWER FOR SET-BACKS.

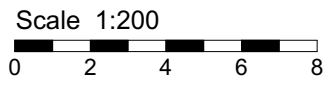
LOT 3 MISCLOSE
 0.000 m
LOT 4 MISCLOSE
 0.013 m
SOIL DESCRIPTION
 Sand
 Light Grass Cover



2 Storey Brick & Galv. Townhouse on Slab



NOTE:
 CHECK SHIRE RE: AMALGAMATION BEWARE COULD DELAY BUILDING LICENSE (AMALGAMATION PROCESS APPROX. 6-9 MONTHS)

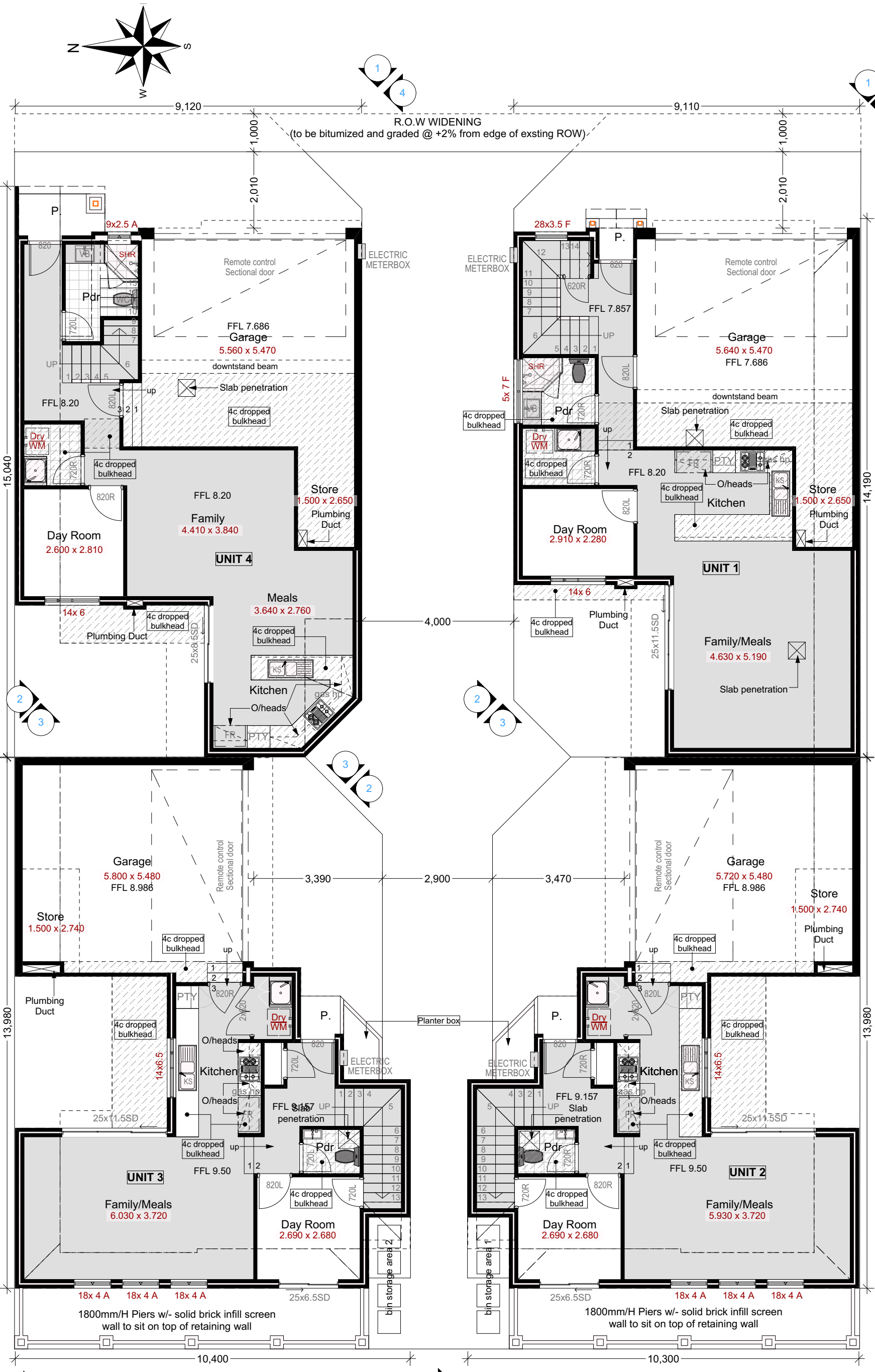


Charles Street
 Bitumen

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	1	15/04/2016	Tender	AS		

KEY FOR GROUND AND FIRST FLOOR

■ Tiled Area total = 160.00m²



UNIT 1 AREAS

GROUND LIVING AREA:	68.54m ²
UPPER LIVING AREA:	89.24m ²
GARAGE + STORE	39.55m ²
TOTAL AREA:	197.33m²
PORCH:	1.09m ²
BALCONY:	9.34m ²
TOTAL AREA (INCL BAL + PORCH):	207.76m²
BLOCK AREA:	151.00m ²
COMMON PROPERTY:	120.00m ² /30.00m ²
SITE COVER:	59.72%

UNIT 2 AREAS

GROUND LIVING AREA:	60.84m ²
UPPER LIVING AREA:	83.04m ²
GARAGE + STORE	35.71m ²
TOTAL AREA:	179.59m²
PORCH:	1.13m ²
BALCONY:	4.68m ²
TOTAL AREA (INCL BAL + PORCH):	185.40m²
BLOCK AREA:	152.00m ²
COMMON PROPERTY:	120.00m ² /30.00m ²
SITE COVER:	53.05%

UNIT 3 AREAS

GROUND LIVING AREA:	61.26m ²
UPPER LIVING AREA:	83.98m ²
GARAGE + STORE	36.17m ²
TOTAL AREA:	181.41m²
PORCH:	1.13m ²
BALCONY:	4.68m ²
TOTAL AREA (INCL BAL + PORCH):	187.22m²
BLOCK AREA:	152.00m ²
COMMON PROPERTY:	120.00m ² /30.00m ²
SITE COVER:	53.53%

UNIT 4 AREAS

GROUND LIVING AREA:	66.49m ²
UPPER LIVING AREA:	86.42m ²
GARAGE + STORE	39.09m ²
TOTAL AREA:	192.00m²
PORCH:	2.56m ²
BALCONY:	8.63m ²
TOTAL AREA (INCL BAL + PORCH):	203.19m²
BLOCK AREA:	151.00m ²
COMMON PROPERTY:	120.00m ² /30.00m ²
SITE COVER:	58.33%

GROUND FLOOR PLAN
SCALE 1:100

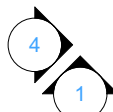
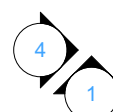
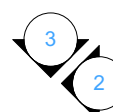
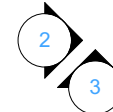
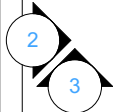
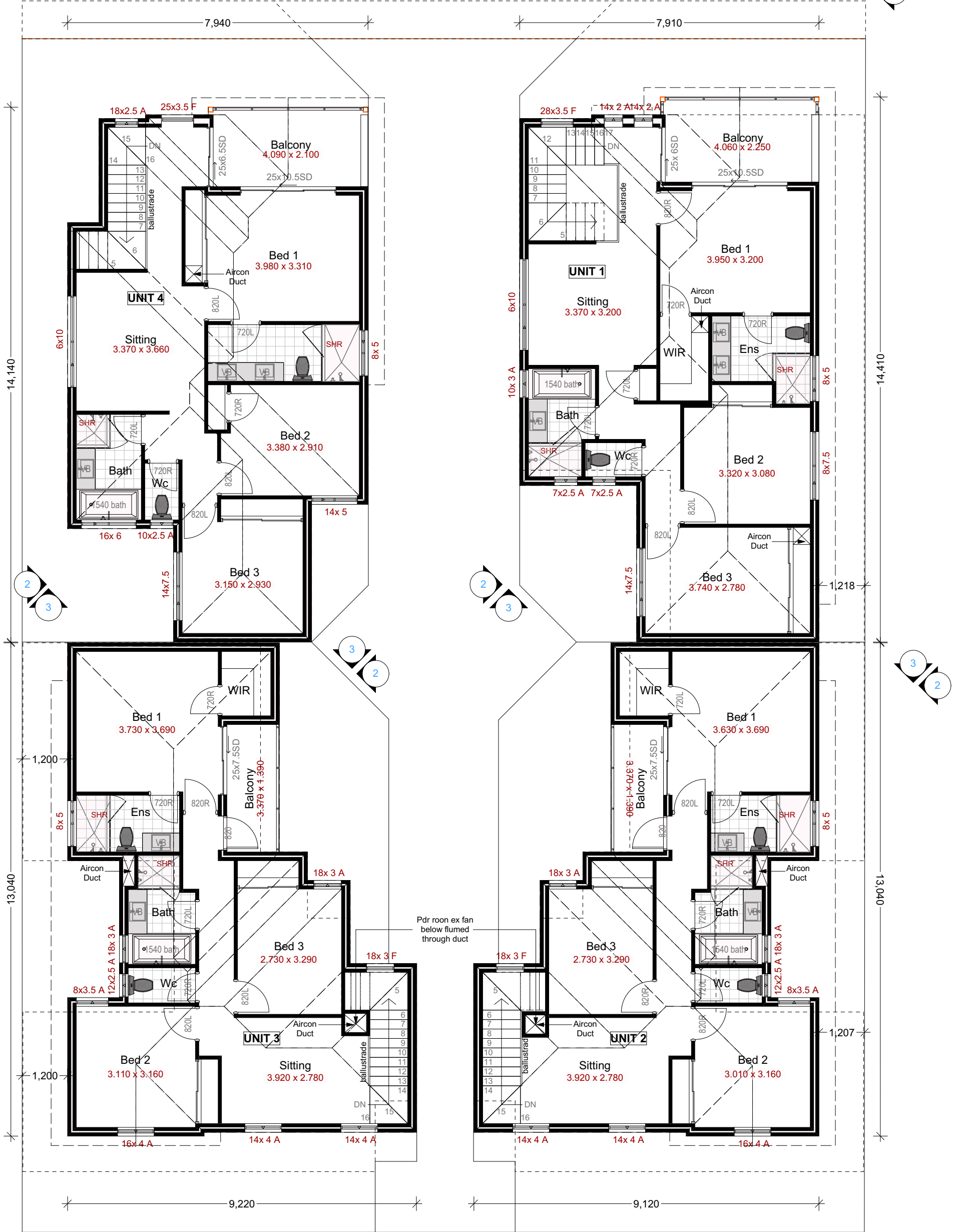
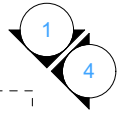
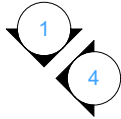
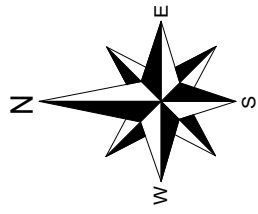
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No	DATE	AMENDMENTS	DWG
1	15/04/2016	Tender	AS

JOB NO: 9555
DATE: 27-Apr-16
DRAWN: JF
SCALE: 1:100
PRINTED DATE:
SHEET 1 of 10

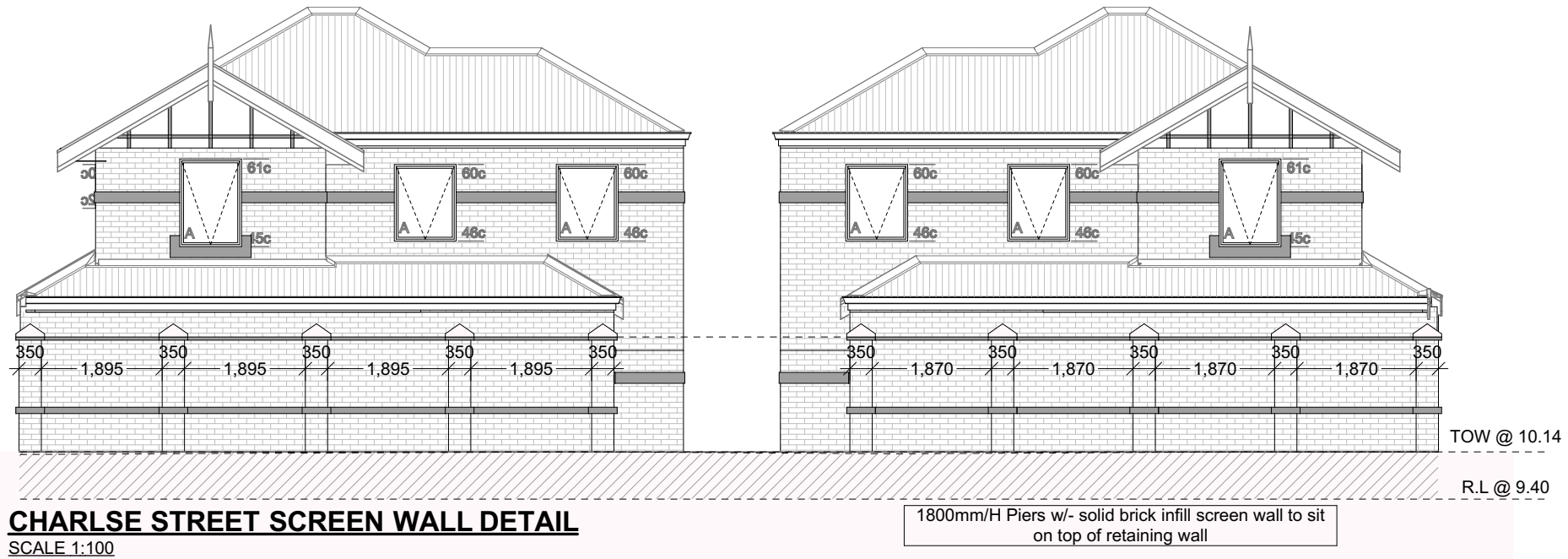
PROPOSED DEVELOPMENT ON
LOT 3 & 4 #172 & 168
CHARLES STREET,
WEST PERTH


FOR CLIENT: RISPOLI



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
UNIT 2 & 3 SCREEN WALL DETAIL



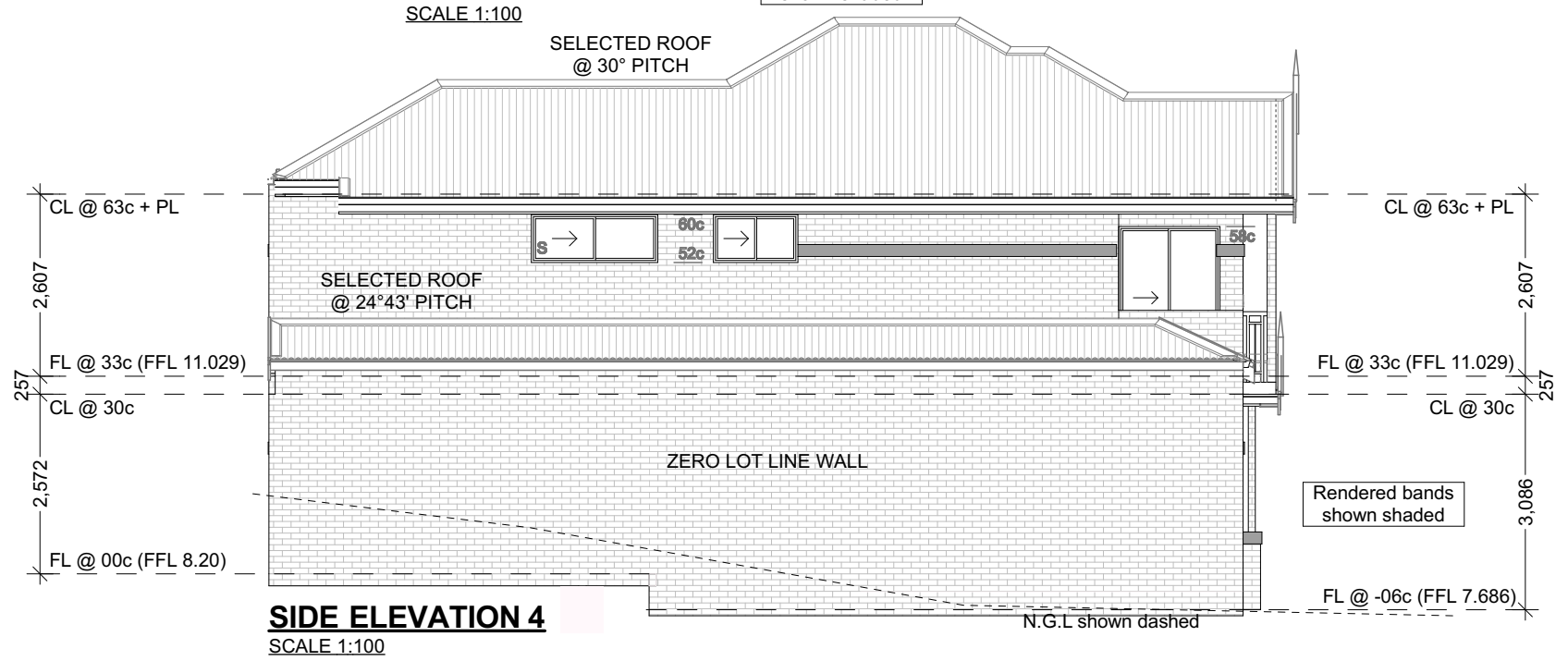
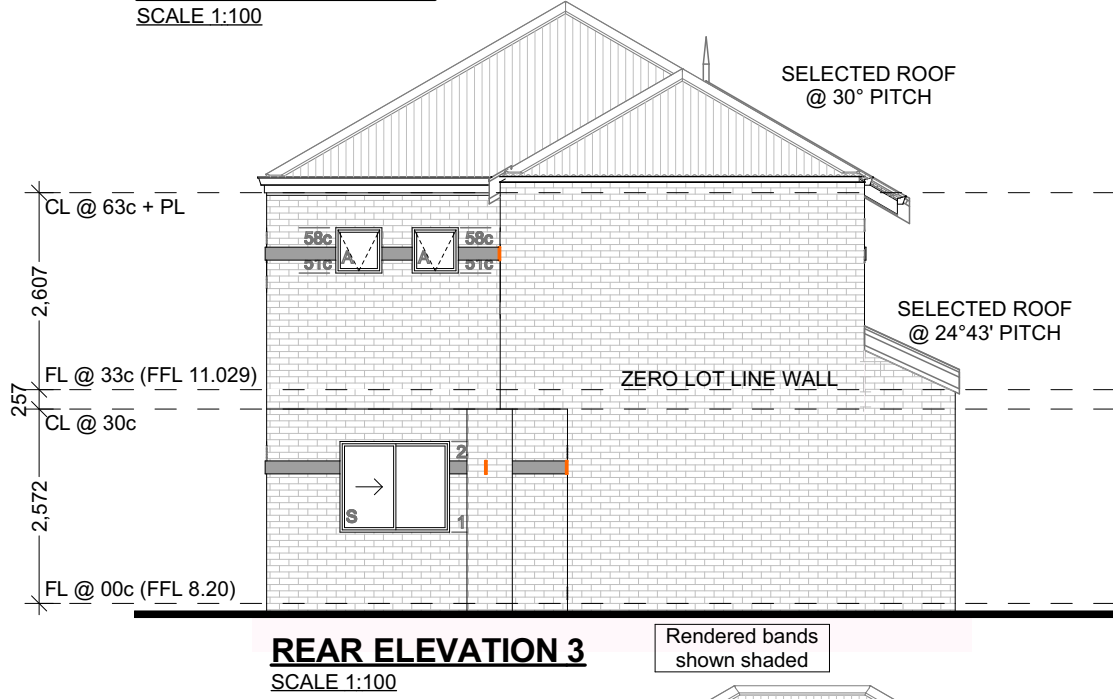
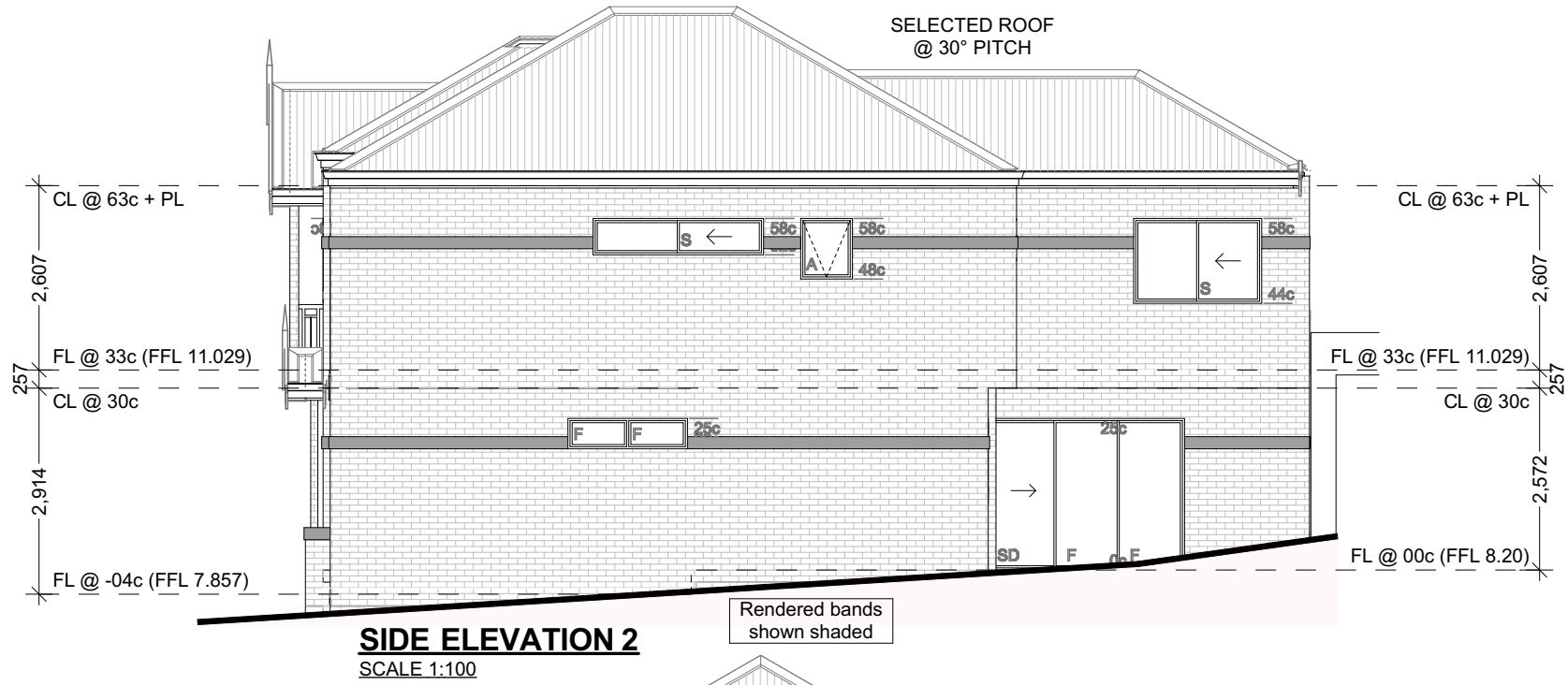
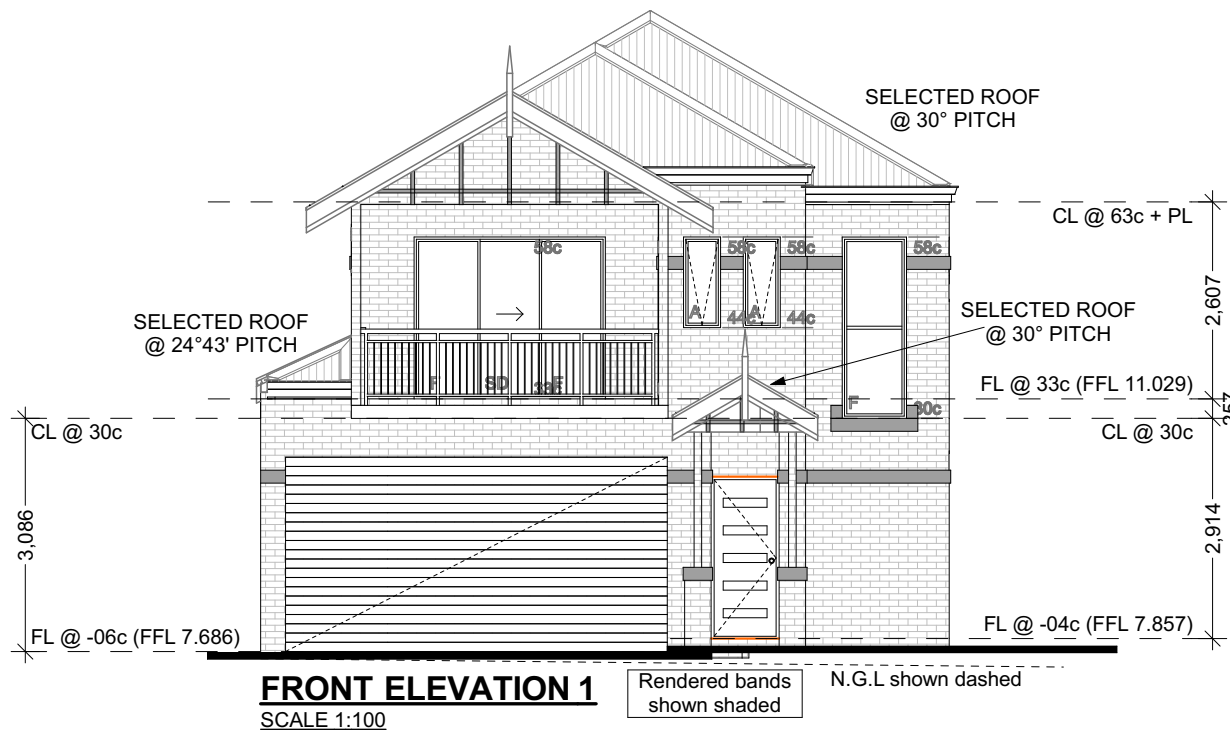
 DESIGN BETTER BUILDINGS Tel: (08) 9242 1999 Mob: 0417 907 012 www.designbetterbuildings.com.au COPYRIGHT © THESE PLANS AND DRAWINGS ARE COPYRIGHT OF DESIGN BETTER BUILDINGS	No	DATE	AMENDMENTS	DWG	JOB NO: 9555 DATE: 27-Apr-16 DRAWN: JF SCALE: 1:100 PRINTED DATE: SHEET 3 of 10	PROPOSED DEVELOPMENT ON LOT 3 & 4 #172 & 168 CHARLES STREET, WEST PERTH FOR CLIENT: RISPOLI
	1	15/04/2016	Tender	AS		


UNIT 1

KEY



Face Brick

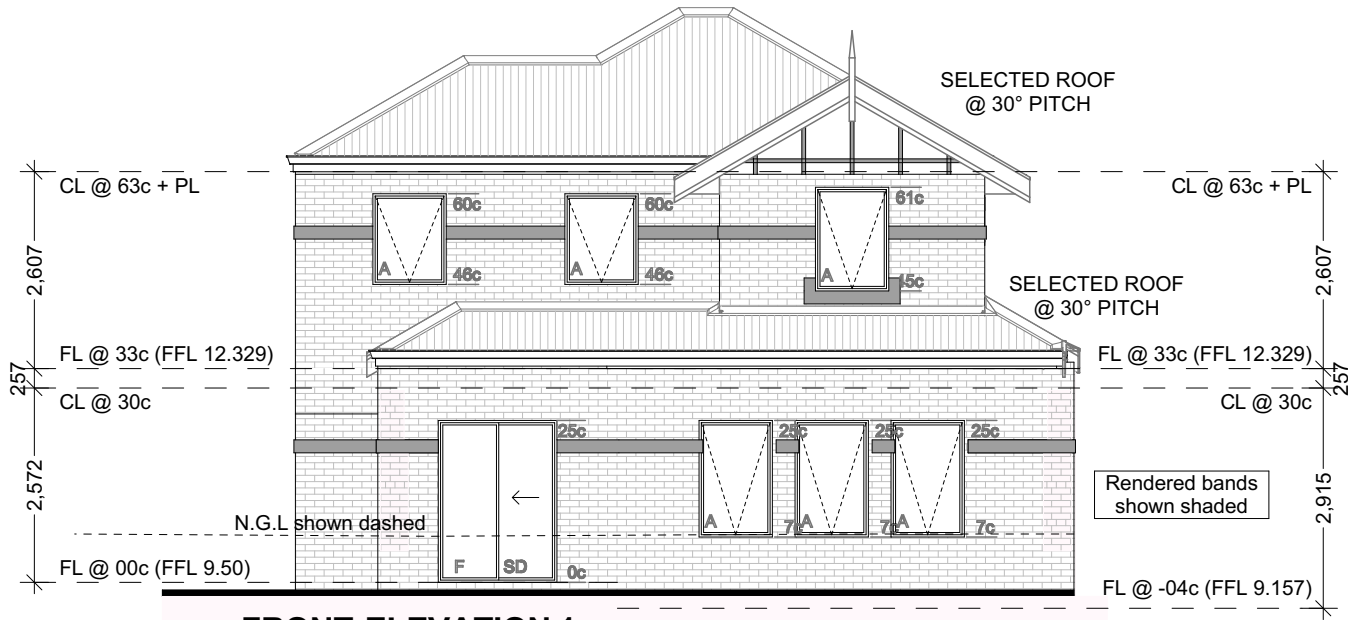


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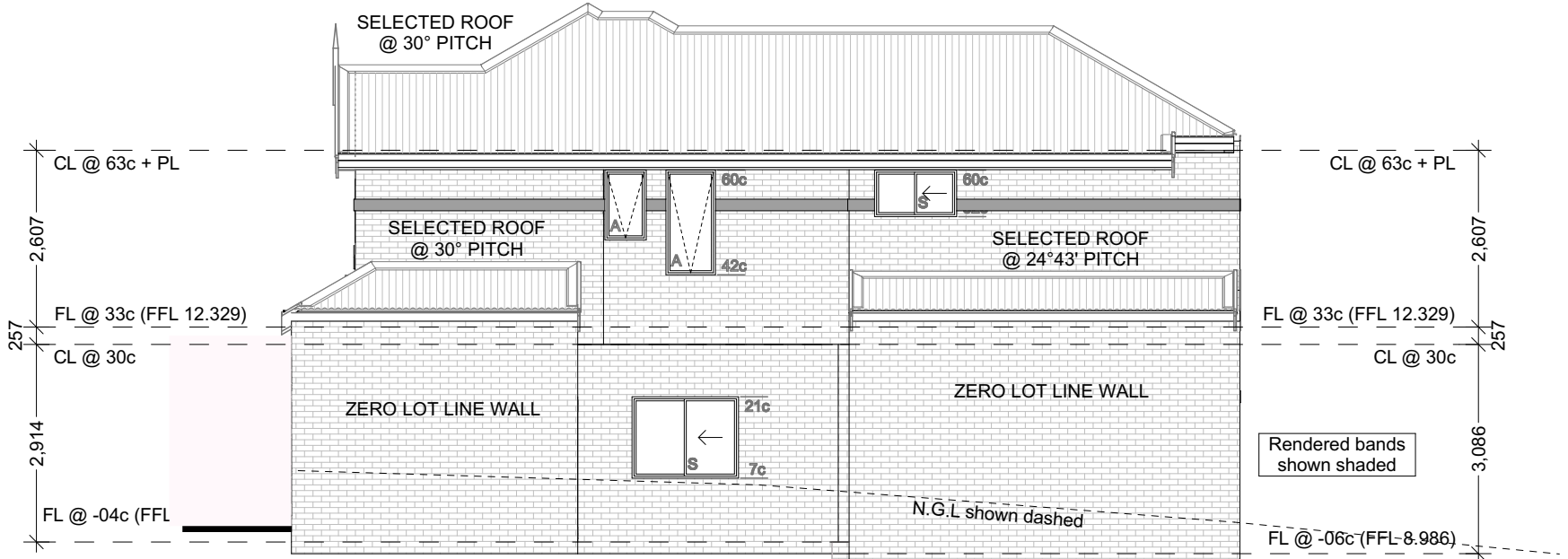
UNIT 2

KEY

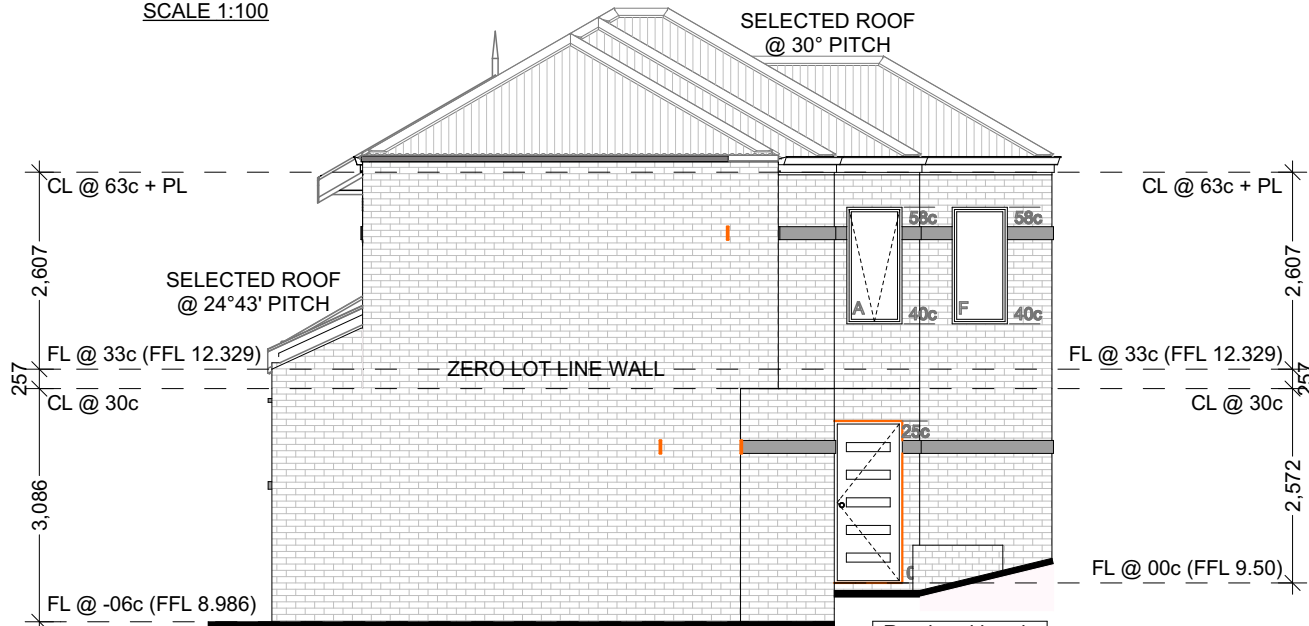
Face Brick



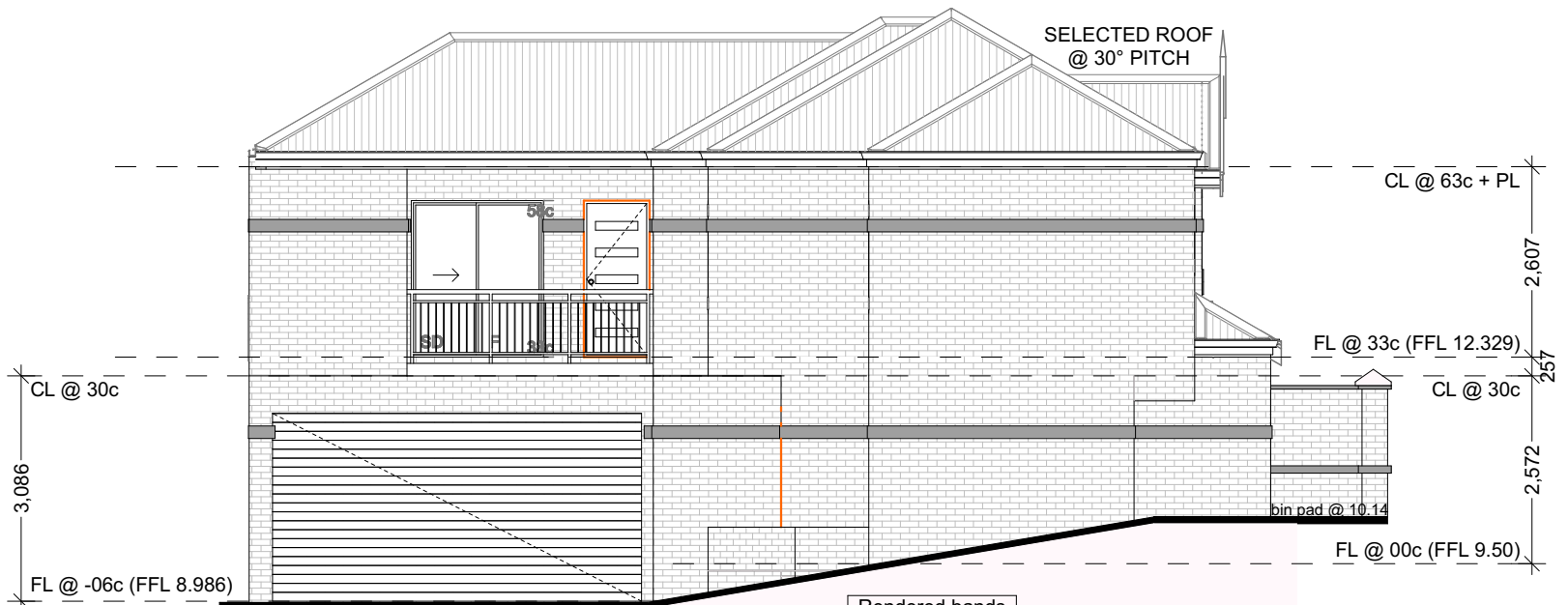
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SCALE 1:100




SIDE ELEVATION 2
SCALE 1:100



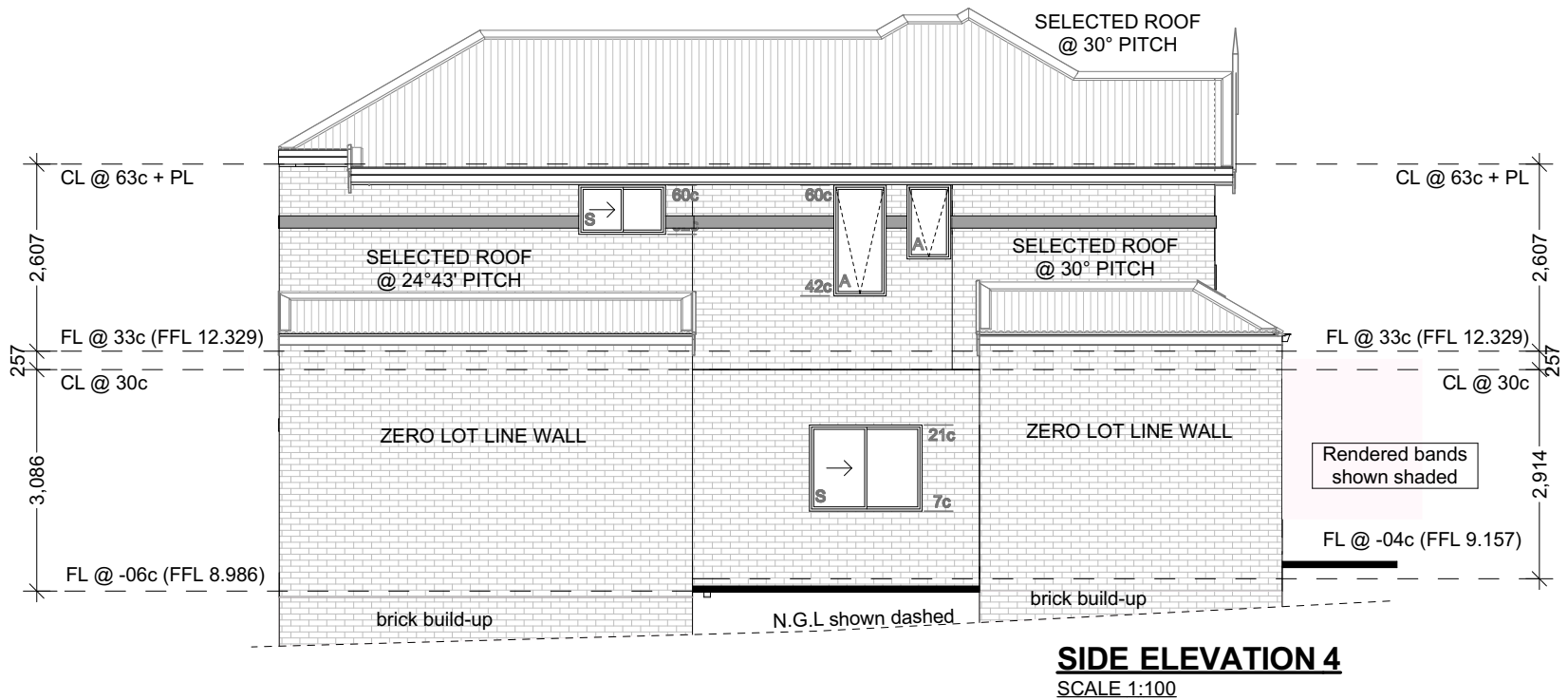
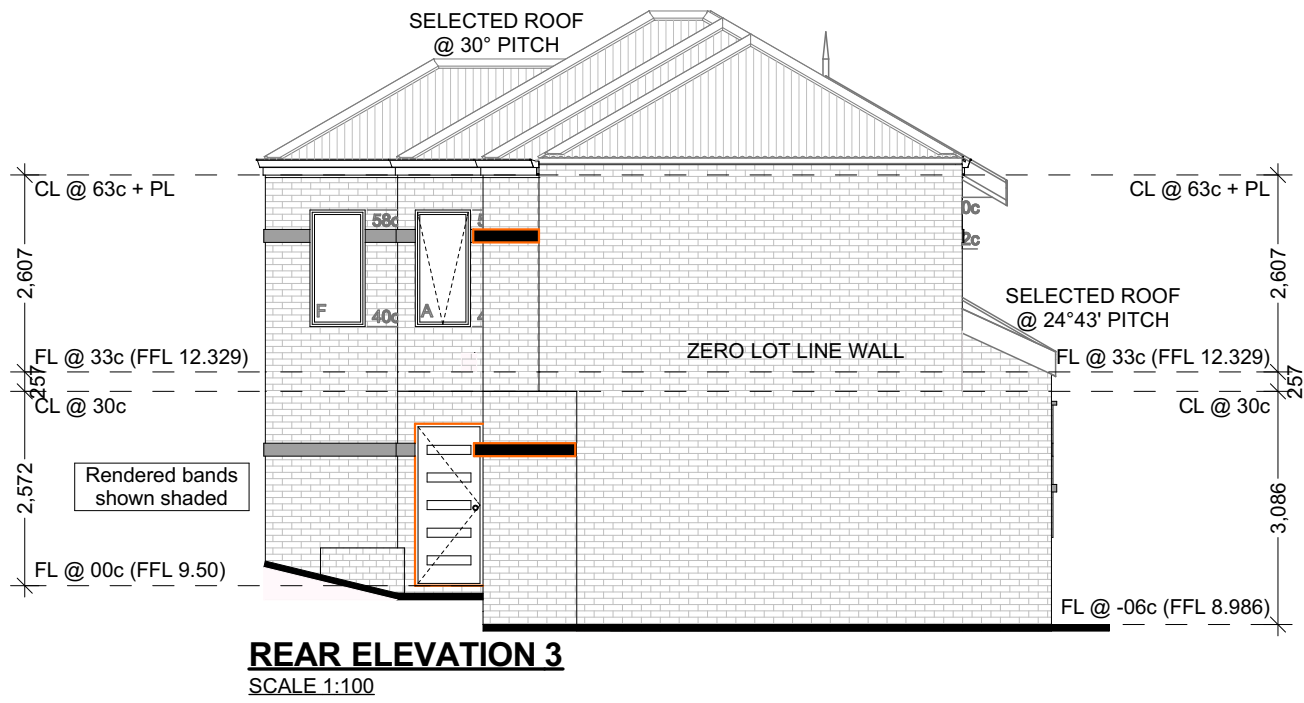
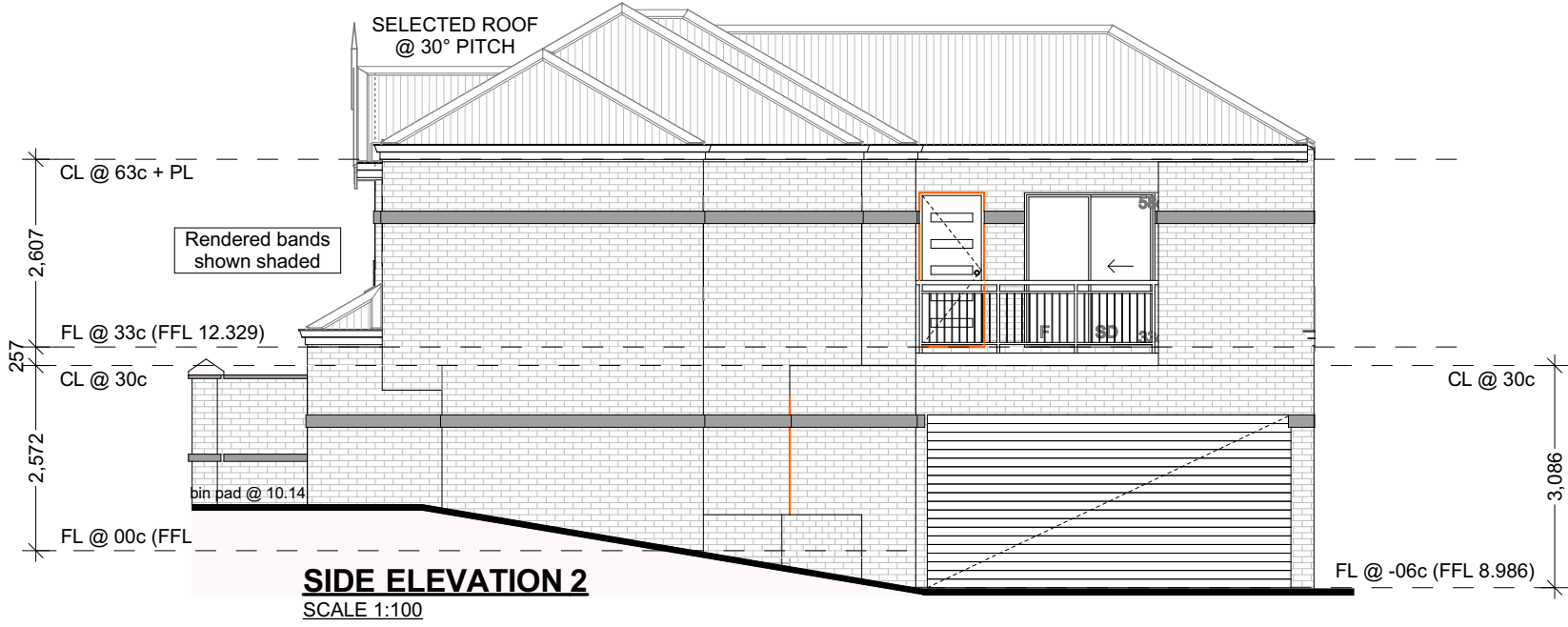
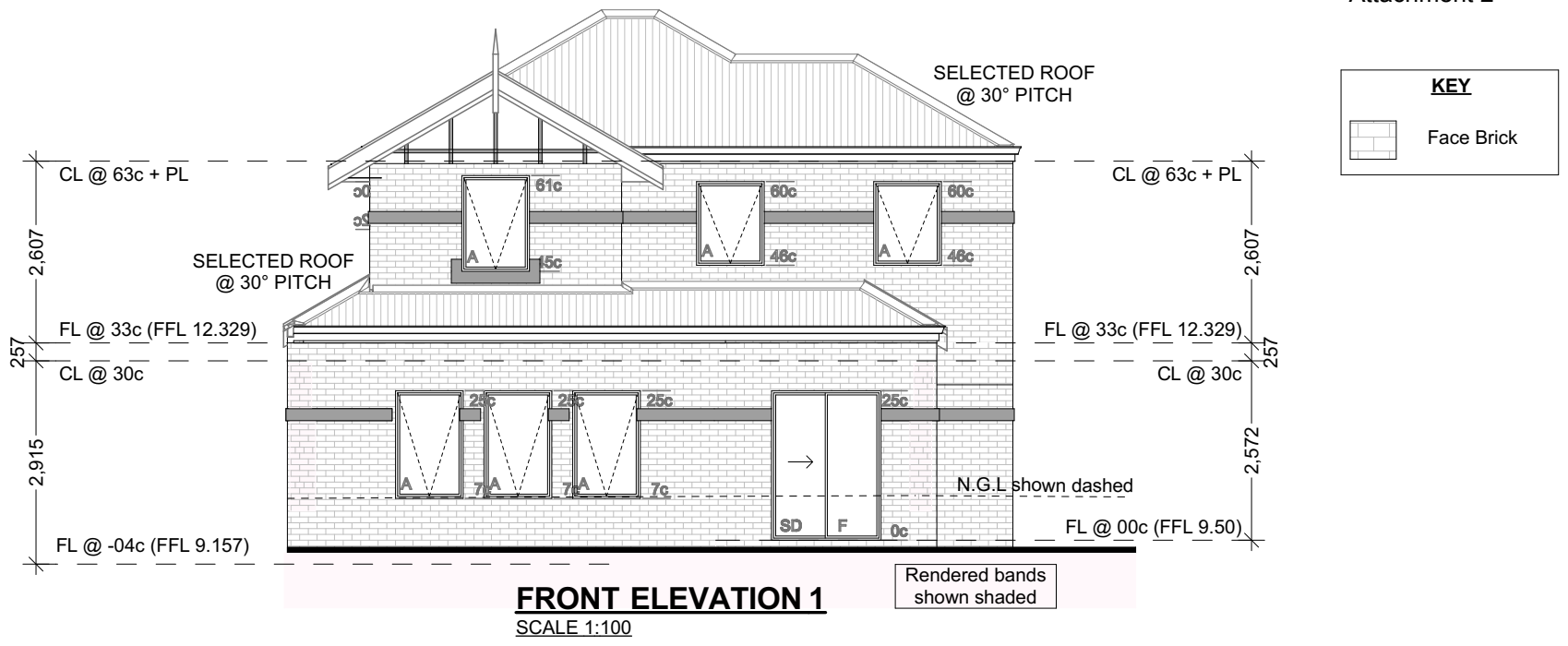
REAR ELEVATION 3
SCALE 1:100




SIDE ELEVATION 4
SCALE 1:100

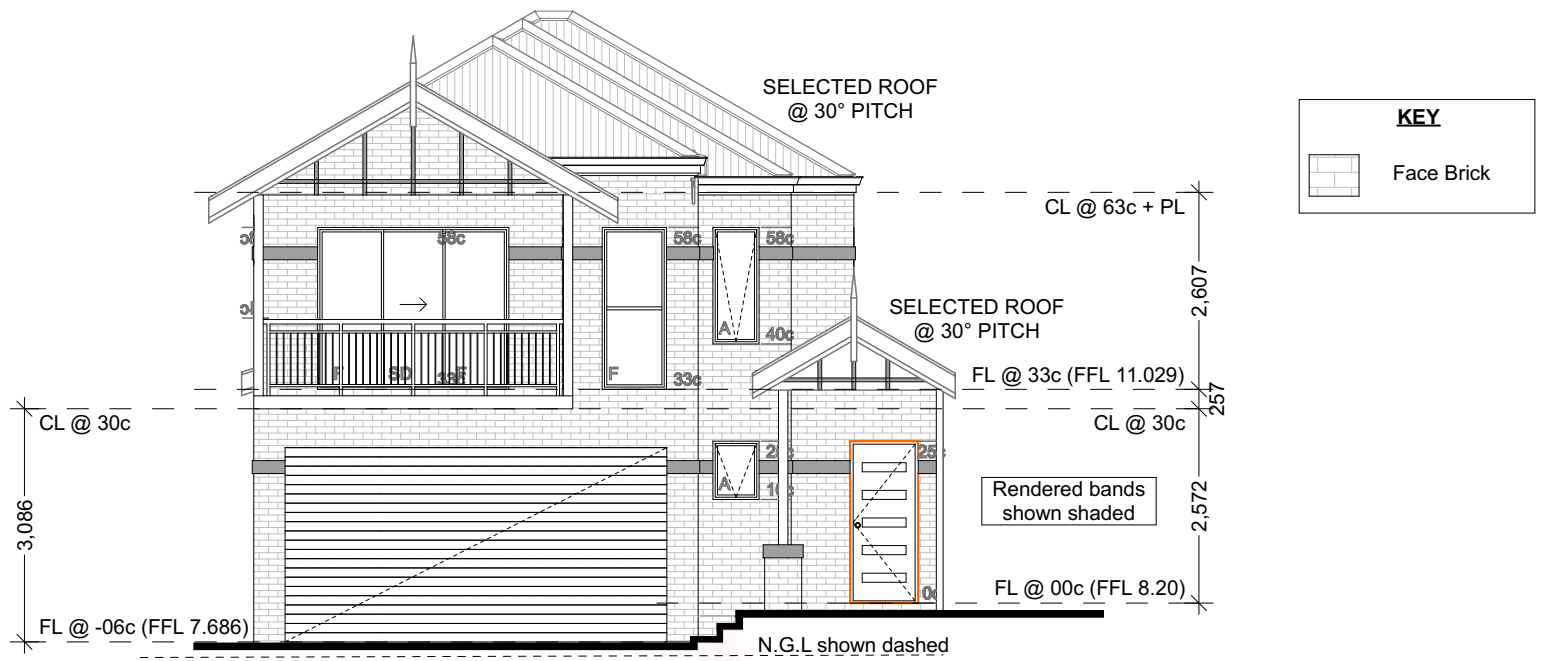
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UNIT 3

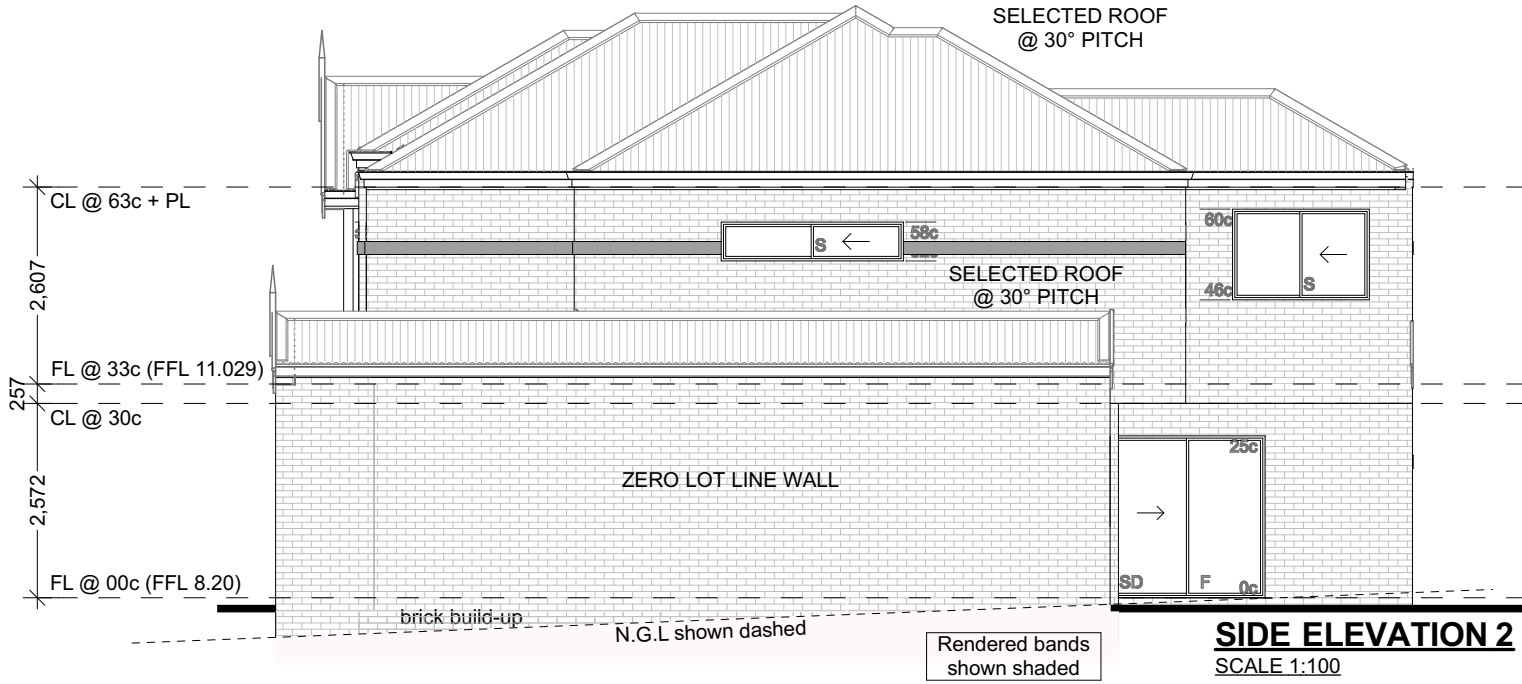


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	1	15/04/2016	Tender	AS		

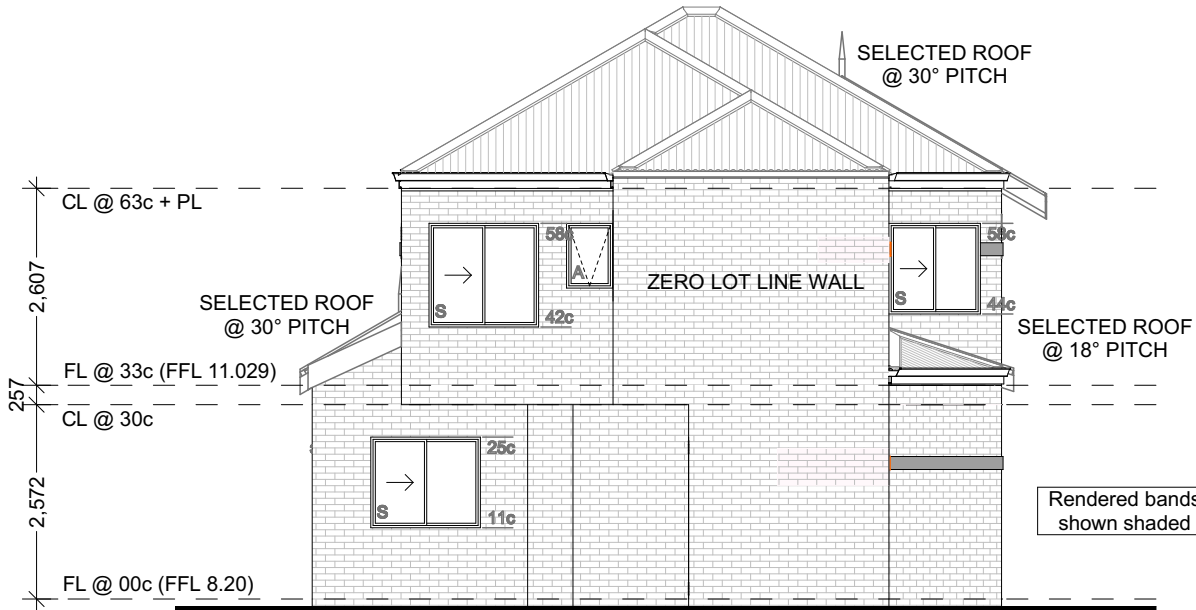
UNIT 4



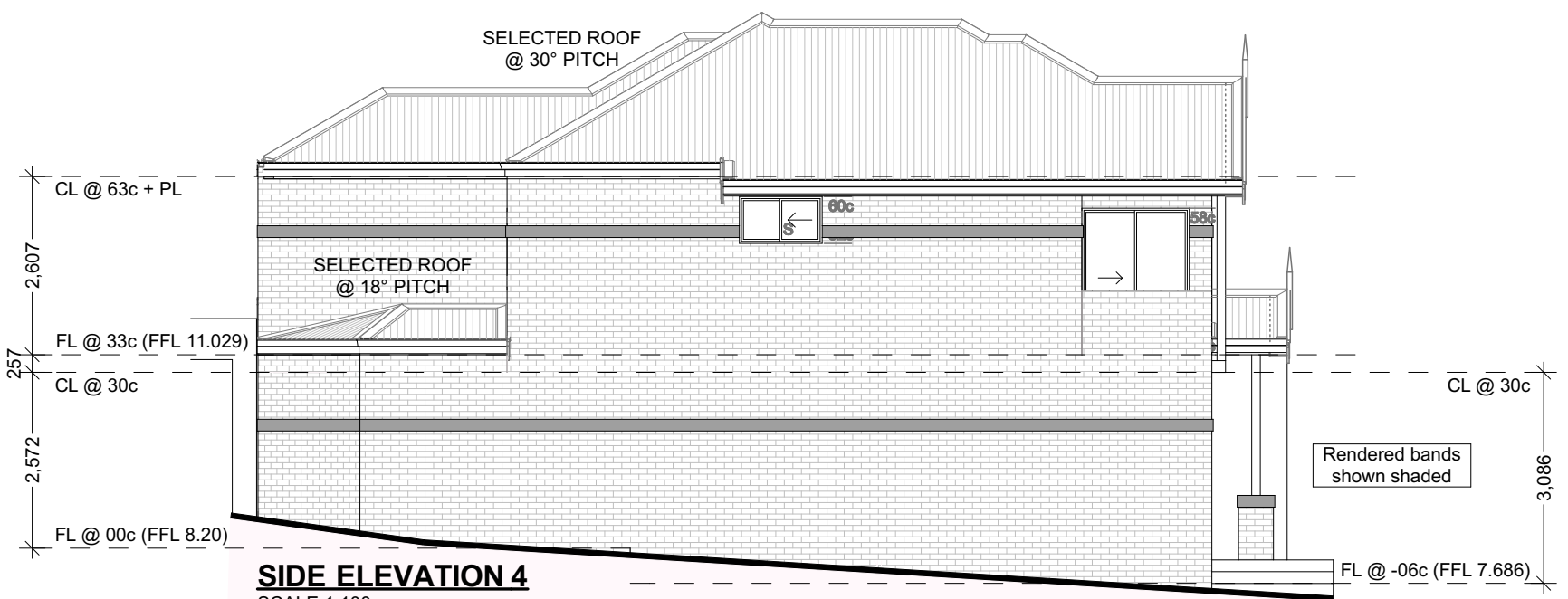
FRONT ELEVATION 1
SCALE 1:100




SIDE ELEVATION 2
SCALE 1:100



REAR ELEVATION 3
SCALE 1:100



SIDE ELEVATION 4
SCALE 1:100

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	No	DATE	AMENDMENTS	DWG							
1	15/04/2016	Tender	AS								