



CITY OF VINCENT

244 Vincent Street (cnr Loftus Street), Leederville,
Western Australia, 6007
PO Box 82, Leederville, 6902

Property Information Report:

No. 24 Ruth Street, Perth



✓ Properties Consulted

The City of Vincent does not warrant the accuracy of information in this publication and any person using or relying upon such information does so on the basis that the City of Vincent shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

FEATURE SURVEY

IMPORTANT NOTES:

BOUNDARY POSITION CANNOT BE VERIFIED DUE TO LACK OF SURVEY MARKS/ PEGS, ALL BUILDING DIMENSIONS & FEATURES ARE APPROX ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCING, RETAINING WALLS AND OTHER TYPICAL FEATURES LOCATED ON THE BOUNDARY WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED.

BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS/ ARCHITECTS, THE BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS MEASURED TO EXISTING STRUCTURES AND FENCING. VISION SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

CLIENTS DETAILS :

VIET PHAT NGO

STREET NAME : RUTH STREET
 LOT No. : 123
 HOUSE No. : 24
 SUBURB : PERTH
 AUTHORITY : CITY OF VINCENT
 ZONE : R80

LEGEND

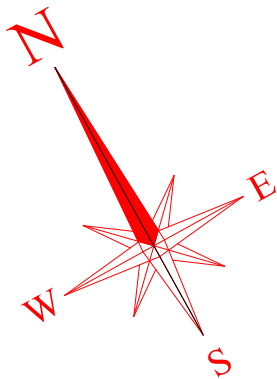
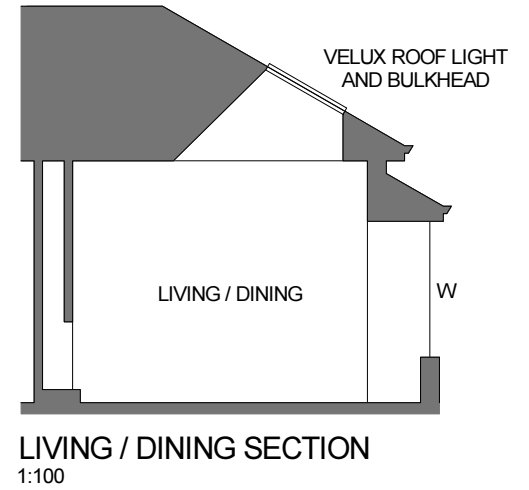
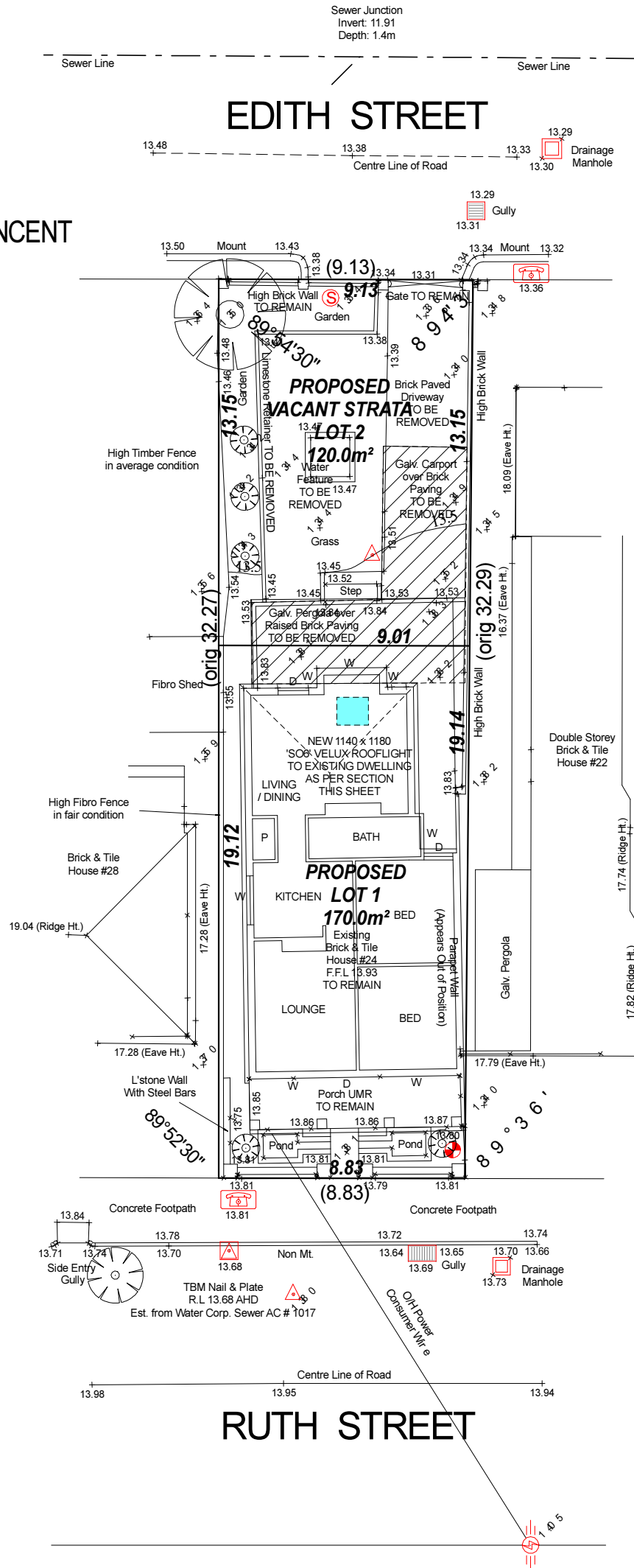
- WATER METER
- SEWER AC
- TELSTRA PIT
- POWER POLE
- SEWER CONN.
- TREE (TO SCALE)
- WINDOW
- DOOR
- TEMP. BENCHMARK
- SURVEY STATION



**SUBDIVISION PLAN - SINGLE DWELLING FOR P. NGO.
 REAR #24 RUTH ST, PERTH (EDITH ST).
 AUG 2014 REVISION B (SCALE 1:200) - SHEET 1 OF 7**

**PROPOSED SUBDIVISION AT
 LOT 123 (#24) RUTH ST, PERTH**

PLAN - 548
 DIAG - 8920
 ORIGINAL LOT SIZE = 290m²
 ZONING - RESIDENTIAL R80
 LOCAL AUTHORITY - CITY OF VINCENT
 N° EXISTING LOTS = ONE (1)
 N° PROPOSED LOTS = TWO (2)
 NO COMMON PROPERTY
 LOT 1 = 170m²
 LOT 2 = 120m²



SCALE 1:200 @ A3

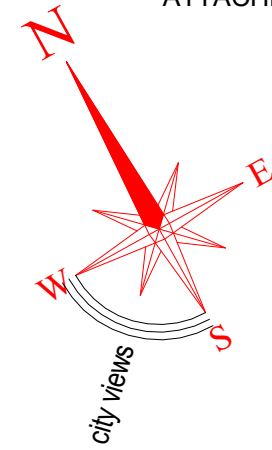
IMPORTANT NOTES:

- THIS PLAN IS INTENDED FOR THE DEPT OF PLANNING & INFRASTRUCTURE ONLY.
- SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.
- THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.
- CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

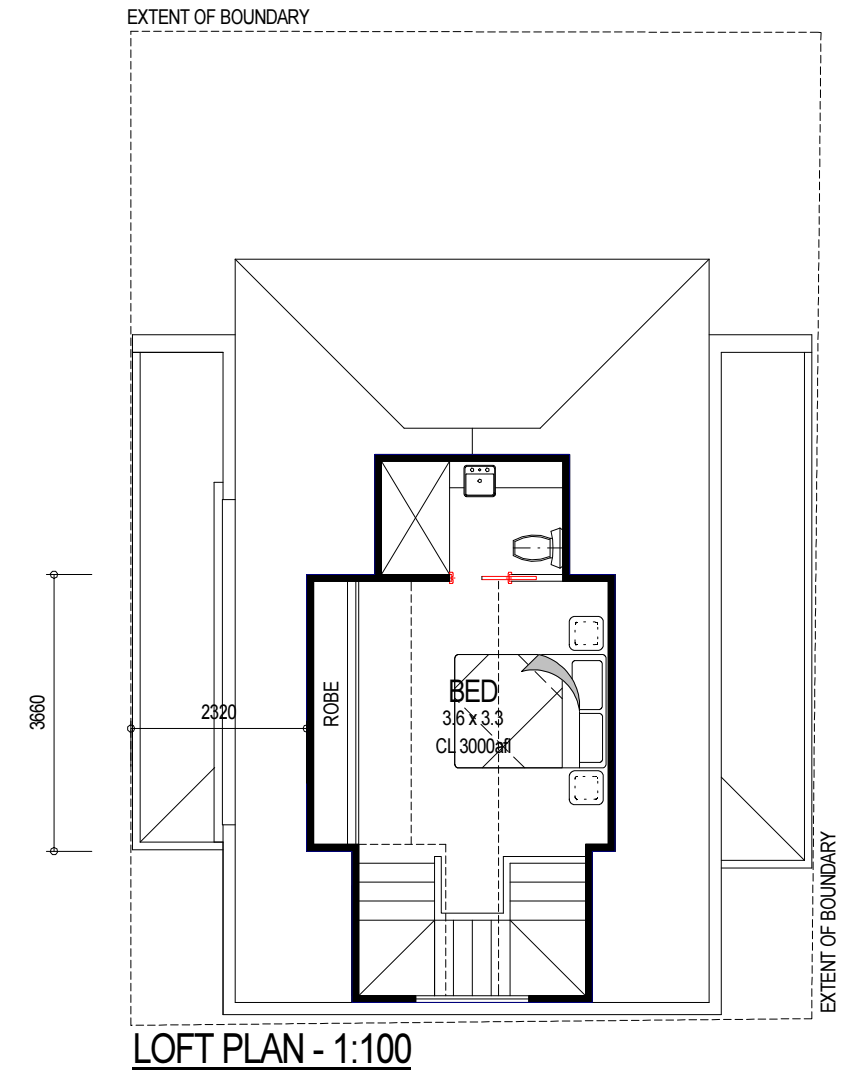
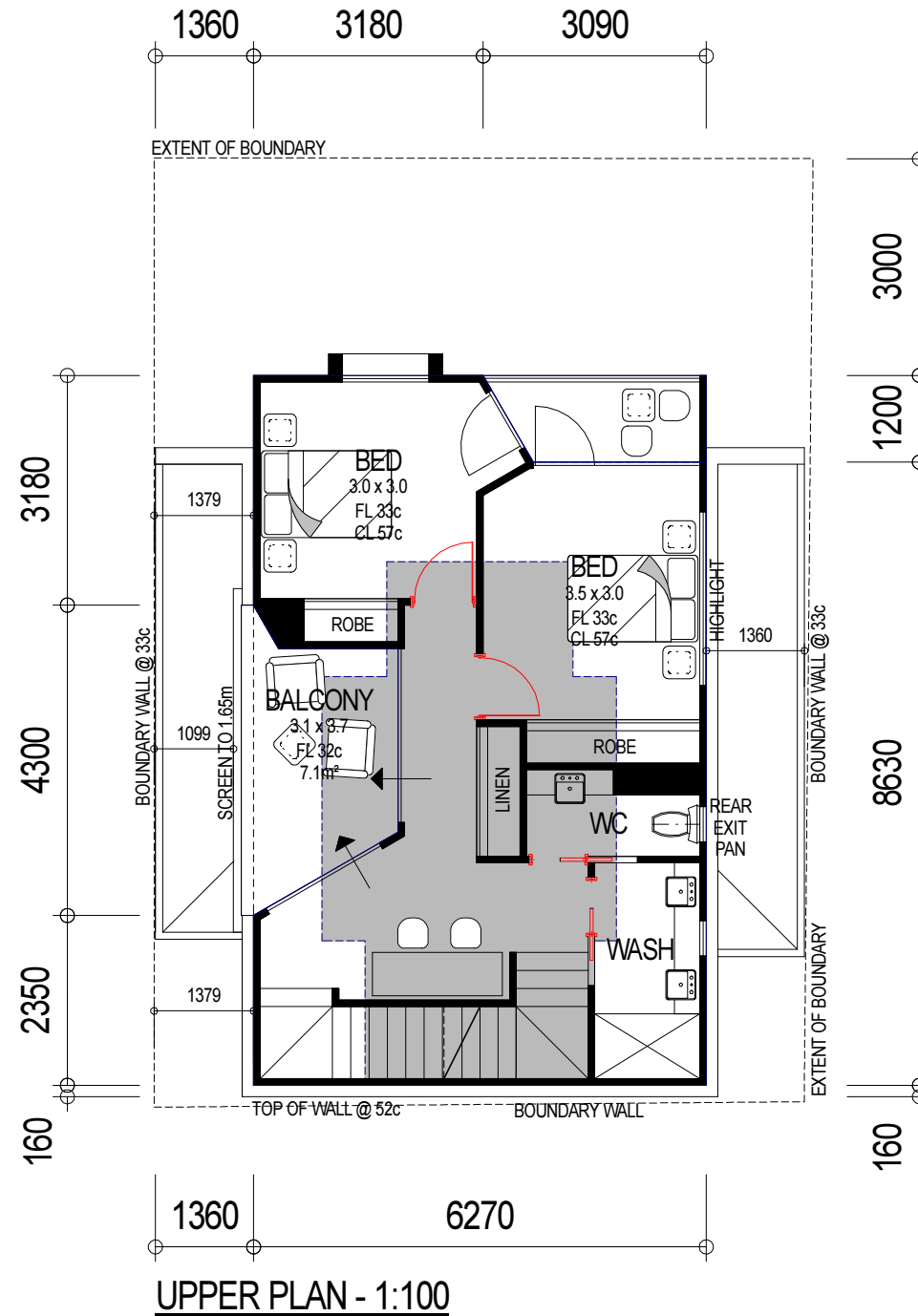
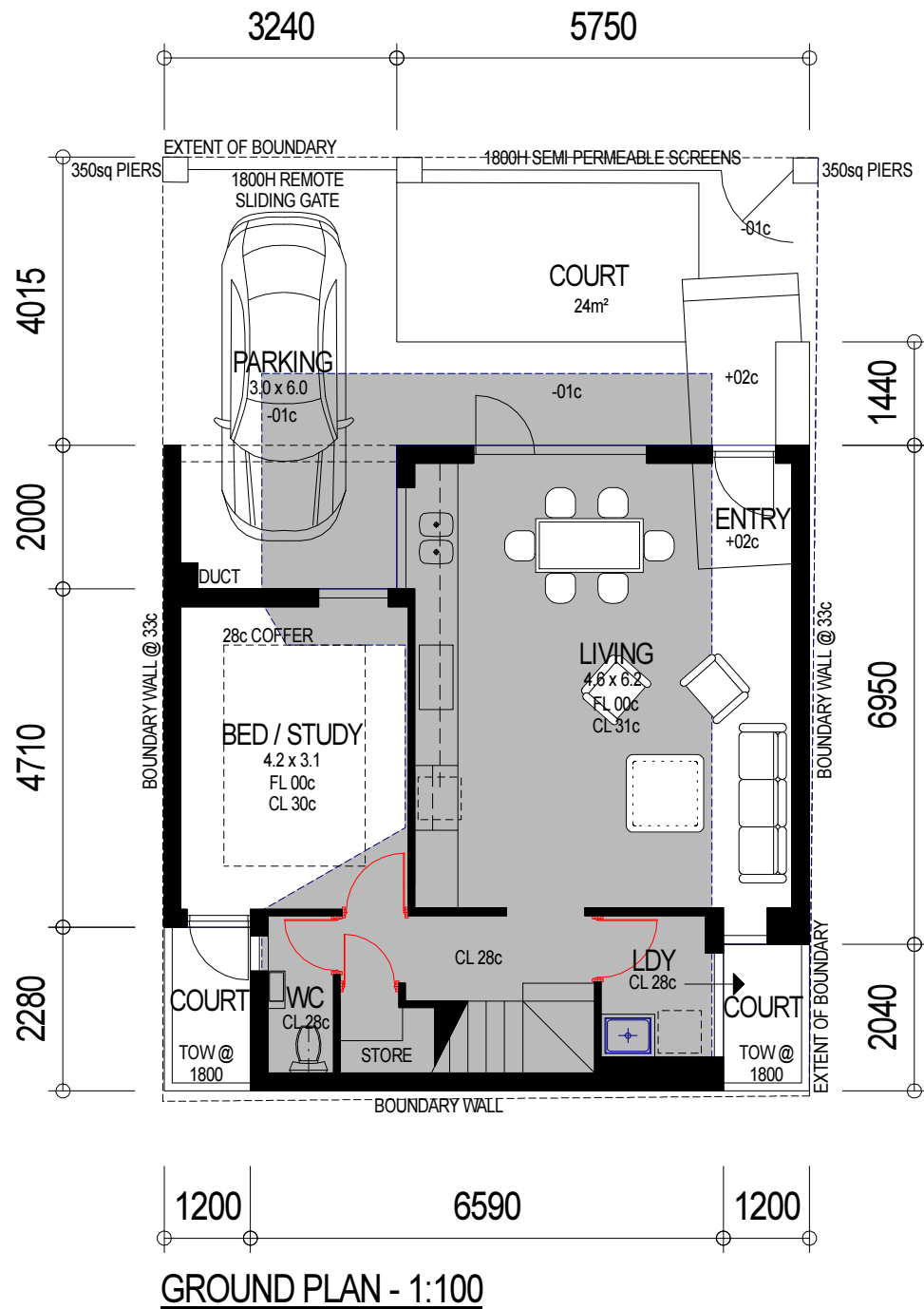
VISION SURVEYS
 Licensed & Engineering Surveyors
 Land Development Consultants
 Project Managers

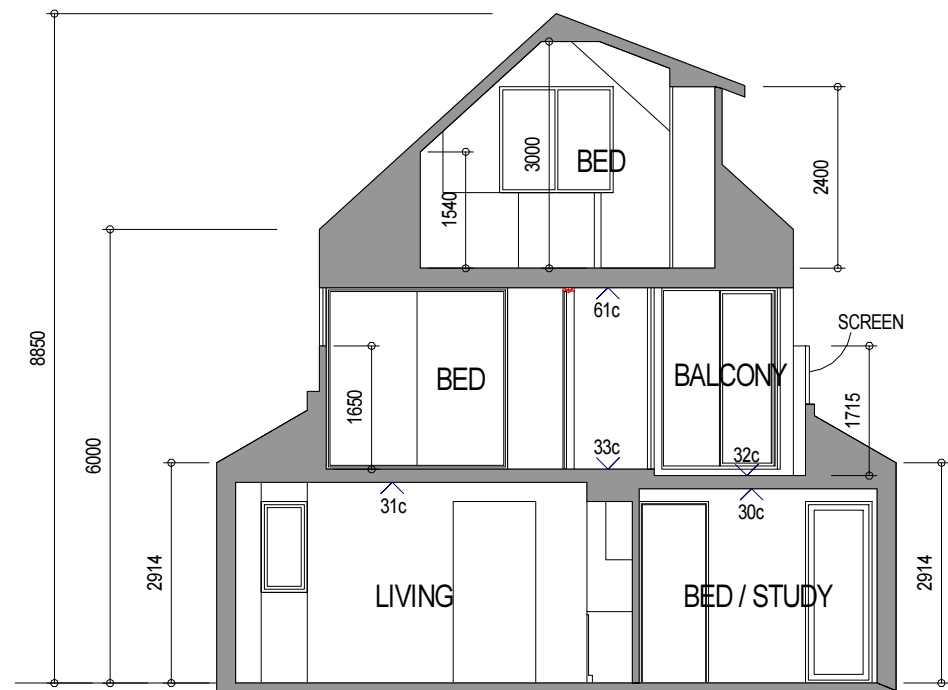
| | | | |
|-------------------|-------------|--------------|-----------------|
| VOL: XXXX | FOLIO: XXXX | Level Datum | AHD(Approx.) |
| MAP REF: XXXXXXXX | | Scale | 1:200 |
| | | Date | 26/06/2013 |
| | | Dwg Ref | Ruth 24 Perth F |
| | | Surveyor | |
| | | Drafter | Darryl Stone |
| | | Checked | |
| | | Sheet 1 of 1 | A3 |

| | | | | |
|--|------------------|------------|-------------|--------------|
| | PLAN / DIAG / SP | D8920 | TELSTRA | PIT |
| | ELECTRICITY | OVERHEAD | SEWERAGE | YES |
| | WATER | CONNECTION | DRAINAGE | GOOD |
| | GAS | YES | VEG. / SOIL | AS DESCRIBED |

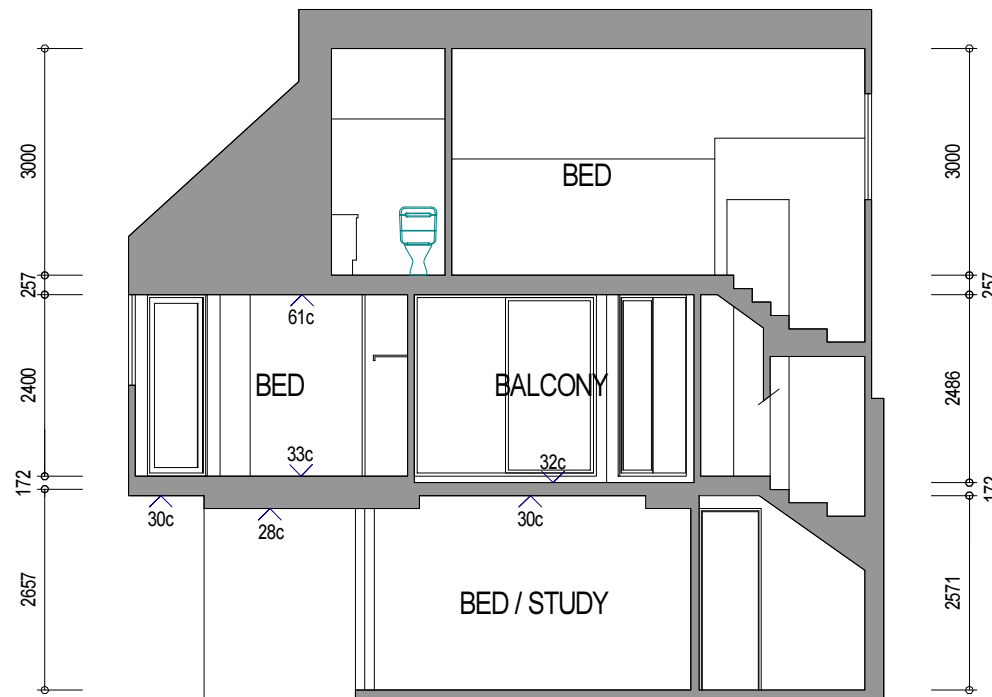


| | |
|-------------------|----------------------|
| GROUND FLOOR AREA | 70.2 m ² |
| UPPER FLOOR AREA | 52.5 m ² |
| F BALCONY AREA | 3.3 m ² |
| R BALCONY AREA | 7.1 m ² |
| LOFT AREA | 25.9 m ² |
| TOTAL AREA | 159.0 m ² |

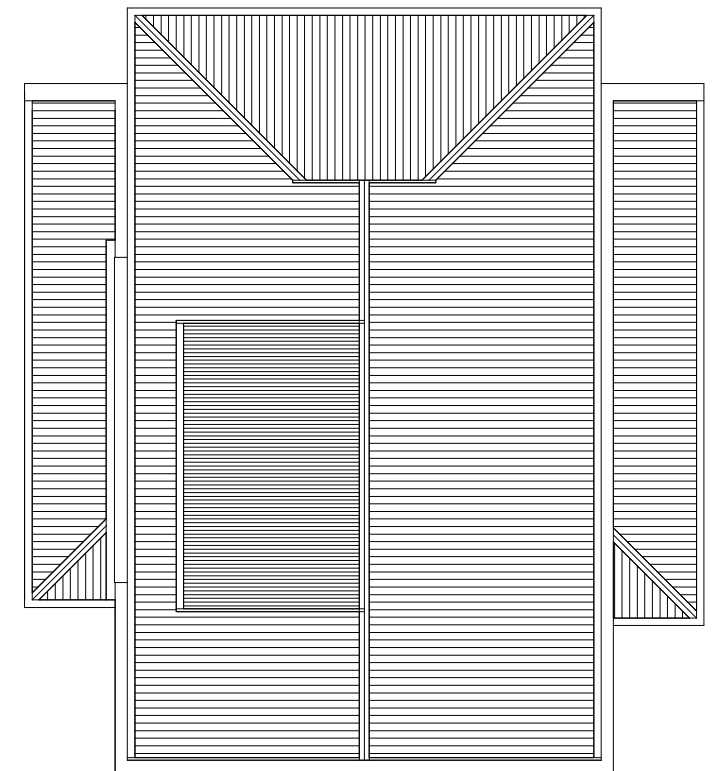




EAST-WEST SECTION - 1:100



NORTH - SOUTH SECTION - 1:100



ROOF PLAN - 1:100



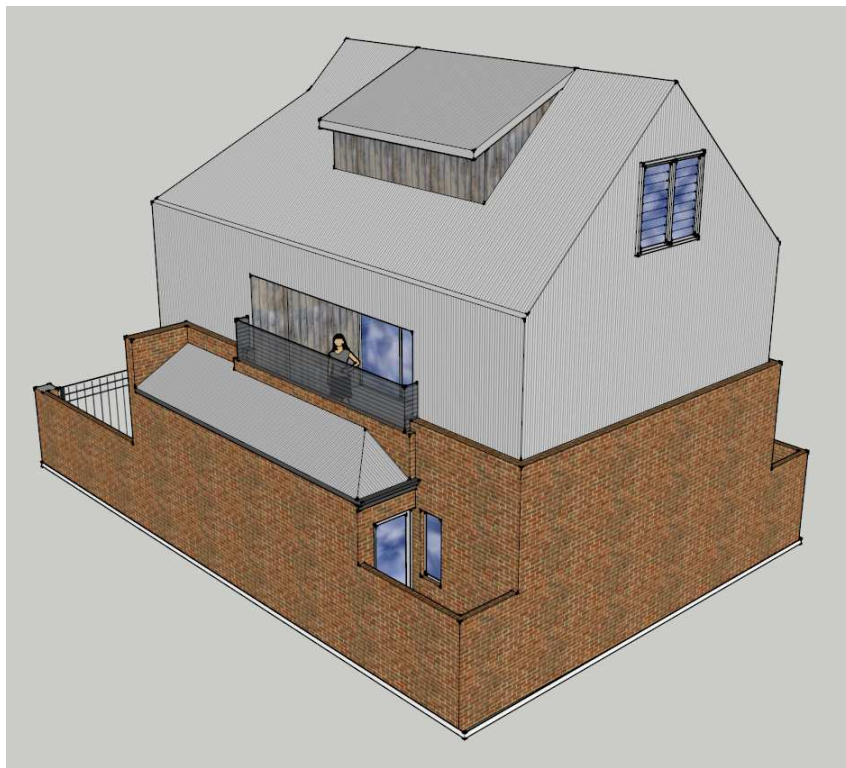
EDITH ST ELEVATION



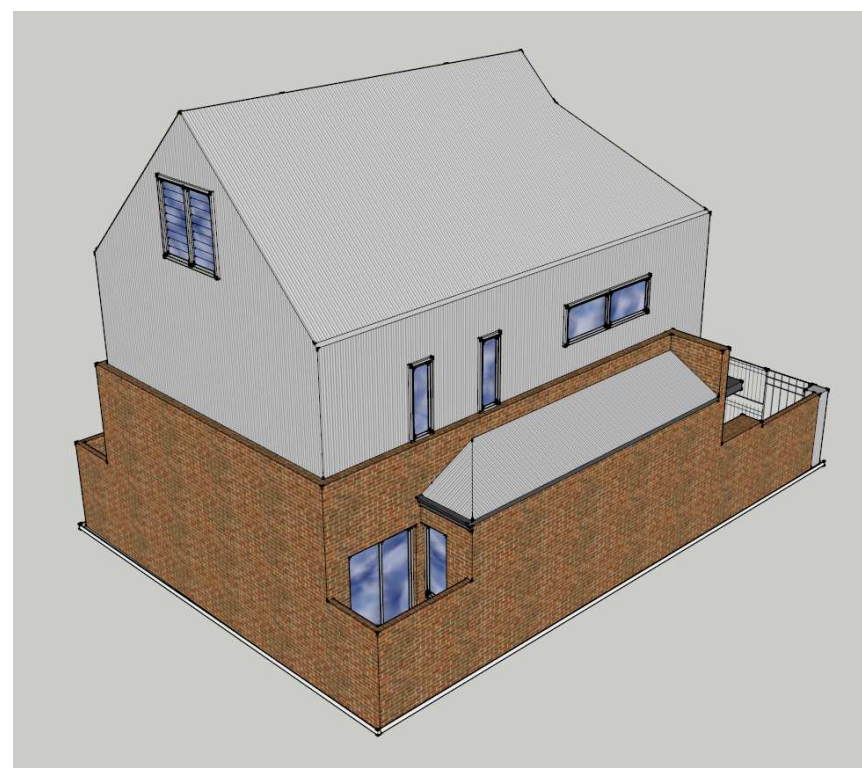
EDITH ST ELEVATION



EDITH ST ELEVATION



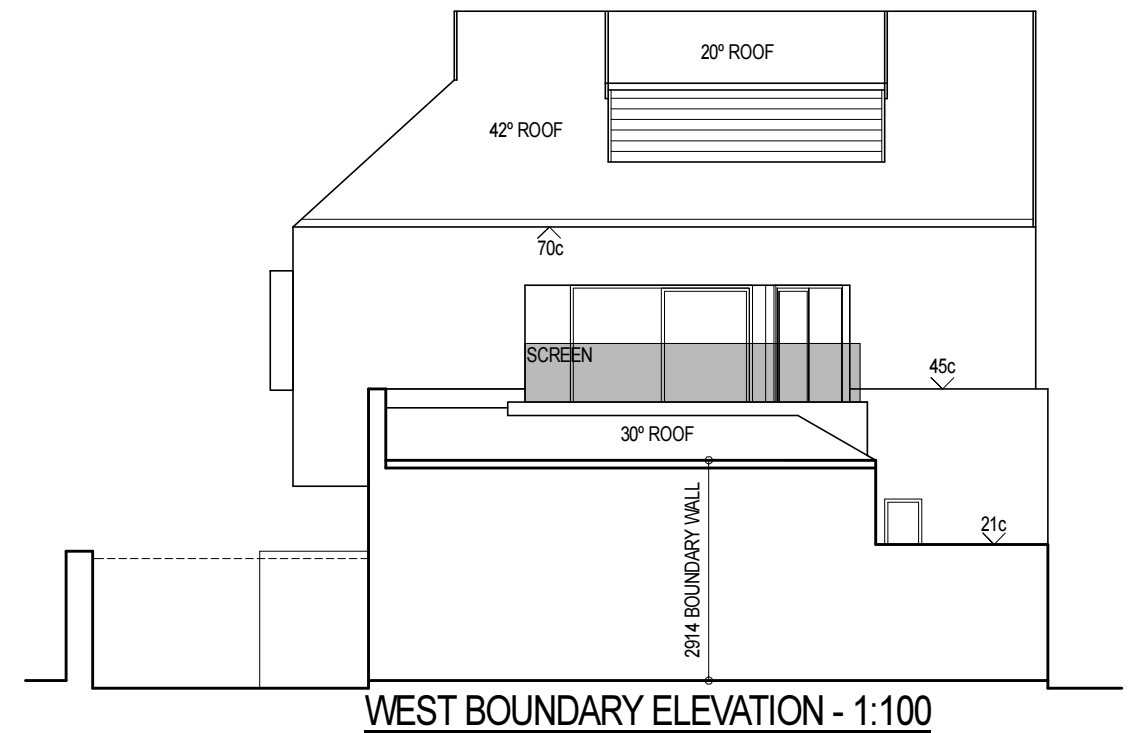
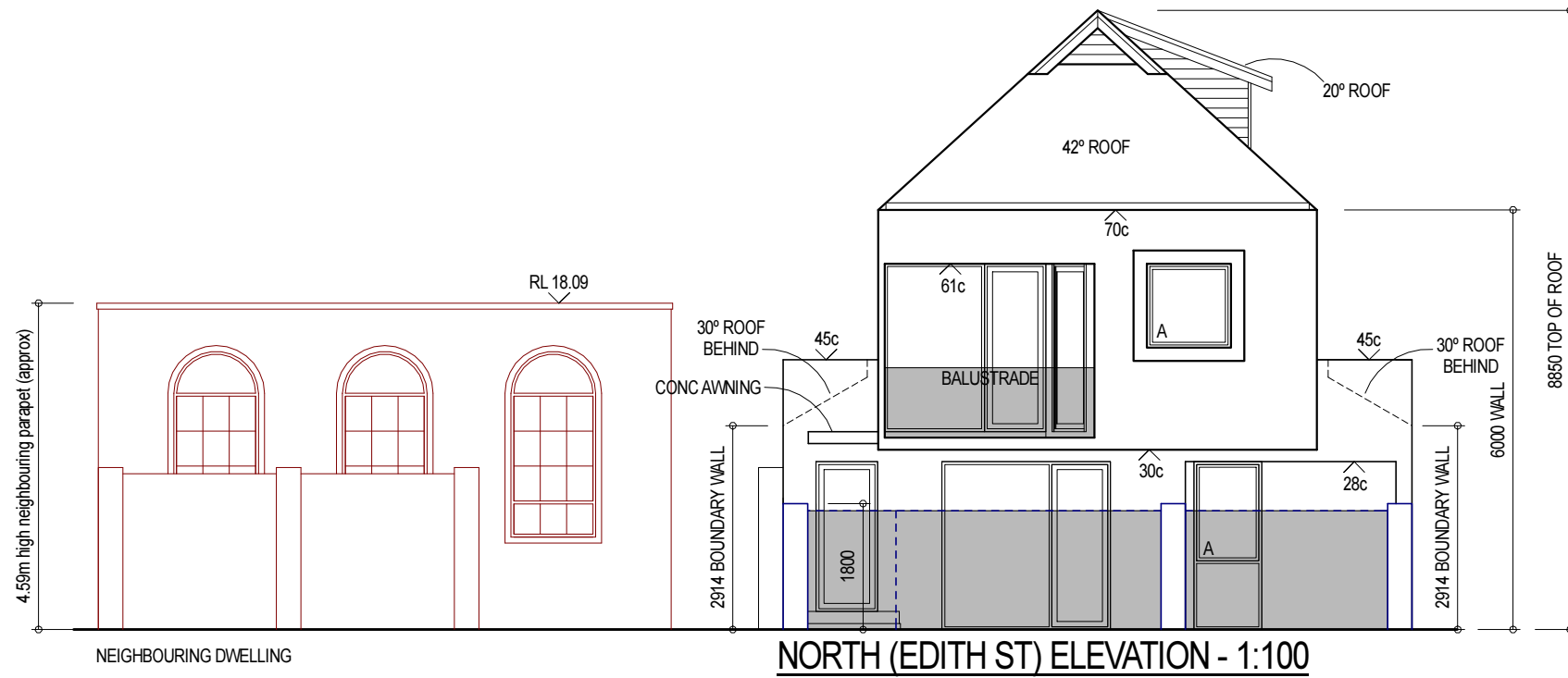
EAST BOUNDARY / STRATA BOUNDARY



STRATA BOUNDARY / WEST BOUNDARY



NORTH SUN PENETRATION



7.4.6 Lofts

A loft is the space contained between the roof pitch and the top of the ceiling of the storey immediately below it.

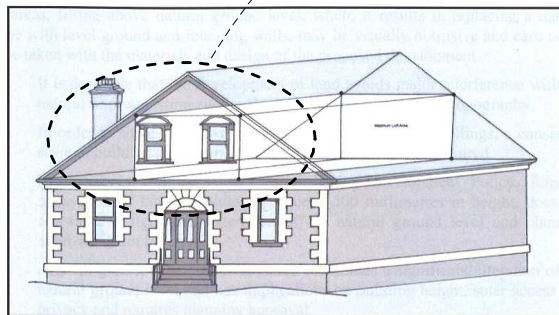
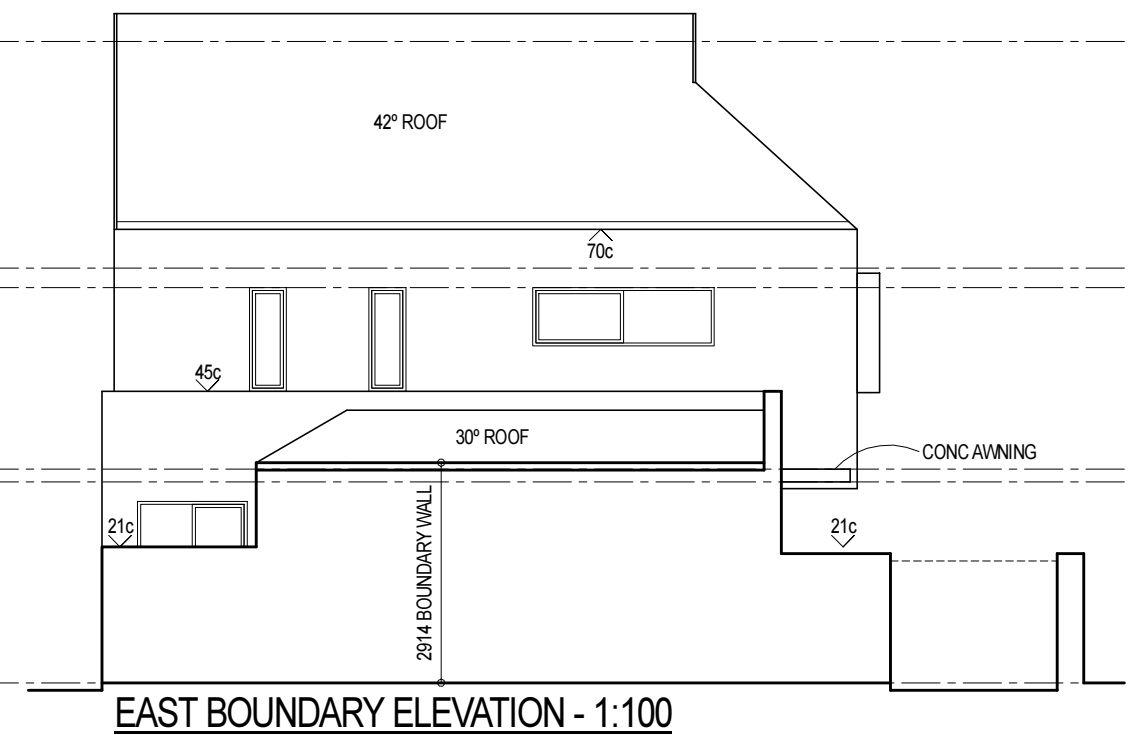
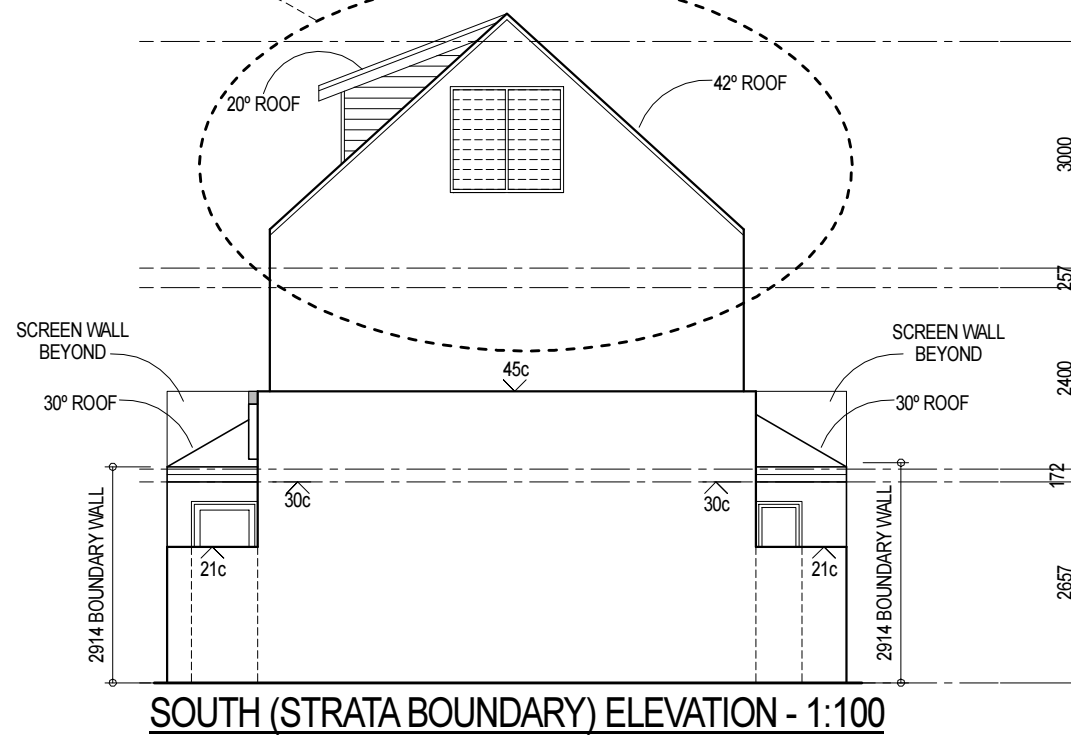


Figure 19: Loft Contained Within the Roof Space

A loft addition must not represent or resemble an additional storey but must be wholly contained within the roof space of the proposed or existing dwelling. It does not constitute as an additional storey if wholly contained within the roof space.



FEATURE SURVEY

IMPORTANT NOTES:

BOUNDARY POSITION CANNOT BE VERIFIED DUE TO LACK OF SURVEY MARKS/ PEGS, ALL BUILDING DIMENSIONS & FEATURES ARE APPROX ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCING, RETAINING WALLS AND OTHER TYPICAL FEATURES LOCATED ON THE BOUNDARY WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED.

BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS/ ARCHITECTS, THE BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS MEASURED TO EXISTING STRUCTURES AND FENCING. VISION SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

CLIENTS DETAILS :

VIET PHAT NGO

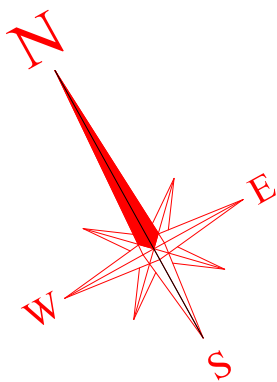
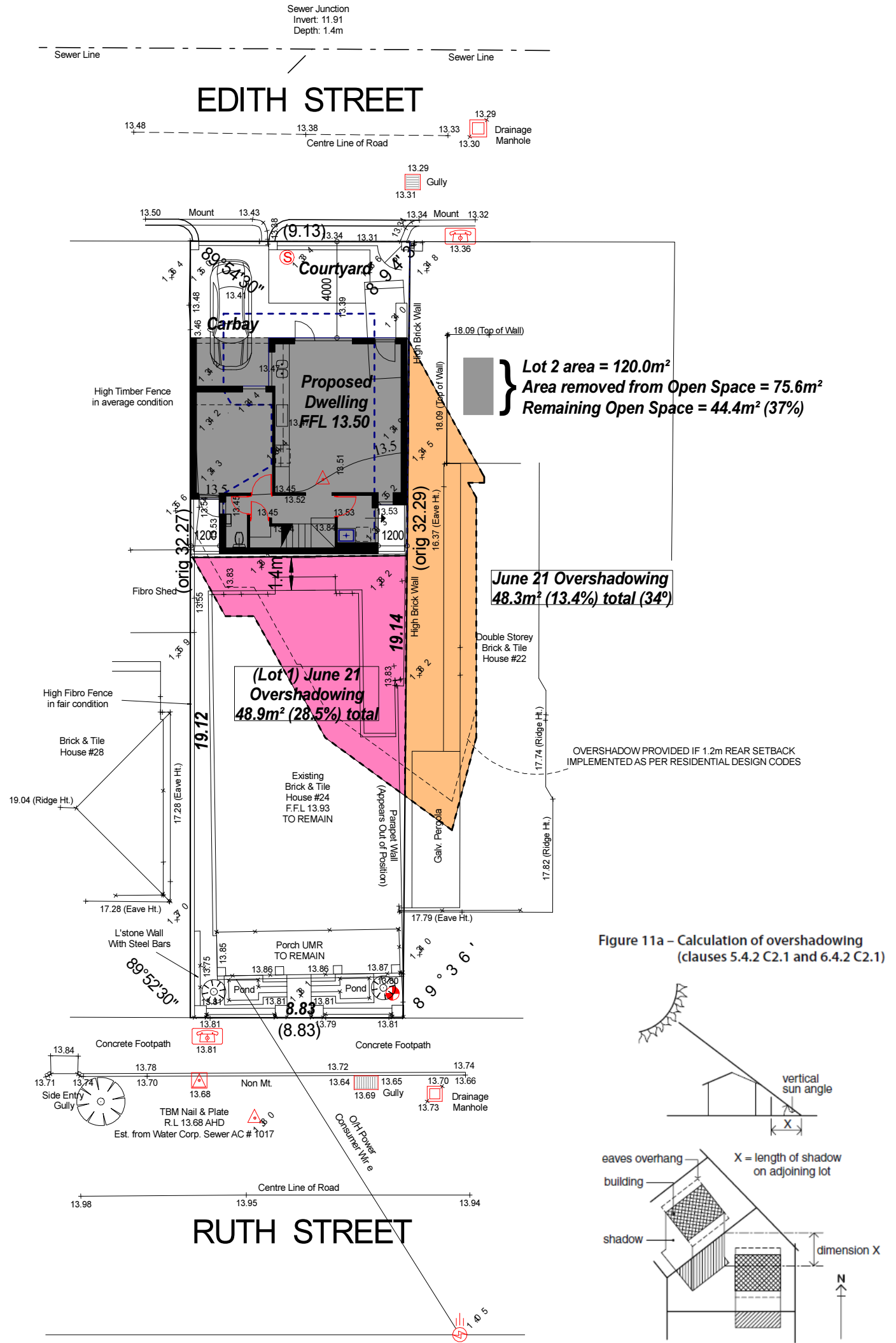
STREET NAME : RUTH STREET
 LOT No. : 123
 HOUSE No. : 24
 SUBURB : PERTH
 AUTHORITY : CITY OF VINCENT
 ZONE : R80

LEGEND

- WATER METER
- SEWER AC
- TELSTRA PIT
- POWER POLE
- SEWER CONN.
- TREE (TO SCALE)
- WINDOW
- DOOR
- TEMP. BENCHMARK
- SURVEY STATION



**GROUND SITE PLAN - SINGLE DWELLING FOR P. NGO.
 REAR #24 RUTH ST, PERTH (EDITH ST).
 AUG 2014 REVISION B (SCALE 1:200) - SHEET 6 OF 7**



SCALE 1:200 @A3

IMPORTANT NOTES:

- THIS PLAN IS INTENDED FOR THE DEPT OF PLANNING & INFRASTRUCTURE ONLY.
 - SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.
 - THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.
 - CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



Licensed & Engineering
 Surveyors
 Land Development
 Consultants
 Project Managers

VOL: XXXX
 FOLIO: XXXX
 MAP REF: XXXXXXXX

TEL (08) 6144 0000
 FAX (08) 6144 0099
 59 SCARBOROUGH BEACH RD,
 SCARBOROUGH WA 6019
 Email: info@visionsurveys.com.au

Level Datum AHD(Approx.)
 Scale 1:200
 Date 26/06/2013
 Dwg Ref Ruth 24 Perth F
 Surveyor
 Drafter Darryl Stone
 Checked
 Sheet 1 of 1 A3

| | | | |
|------------------|------------|-------------|--------------|
| PLAN / DIAG / SP | D8920 | TELSTRA | PIT |
| ELECTRICITY | OVERHEAD | SEWERAGE | YES |
| WATER | CONNECTION | DRAINAGE | GOOD |
| GAS | YES | VEG. / SOIL | AS DESCRIBED |

FEATURE SURVEY

IMPORTANT NOTES:

BOUNDARY POSITION CANNOT BE VERIFIED DUE TO LACK OF SURVEY MARKS/ PEGS, ALL BUILDING DIMENSIONS & FEATURES ARE APPROX ONLY. BOUNDARY POSITIONS HAVE BEEN TAKEN FROM BUILDINGS, FENCING, RETAINING WALLS AND OTHER TYPICAL FEATURES LOCATED ON THE BOUNDARY WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED.

BEFORE ANY WORK IS STARTED ON SITE OR PLANS ARE PRODUCED BY DESIGNERS/ ARCHITECTS, THE BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS MEASURED TO EXISTING STRUCTURES AND FENCING. VISION SURVEYS ACCEPTS NO RESPONSIBILITY FOR ANY CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

CLIENTS DETAILS :

VIET PHAT NGO

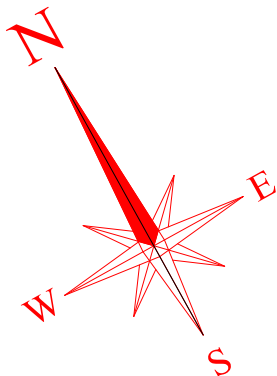
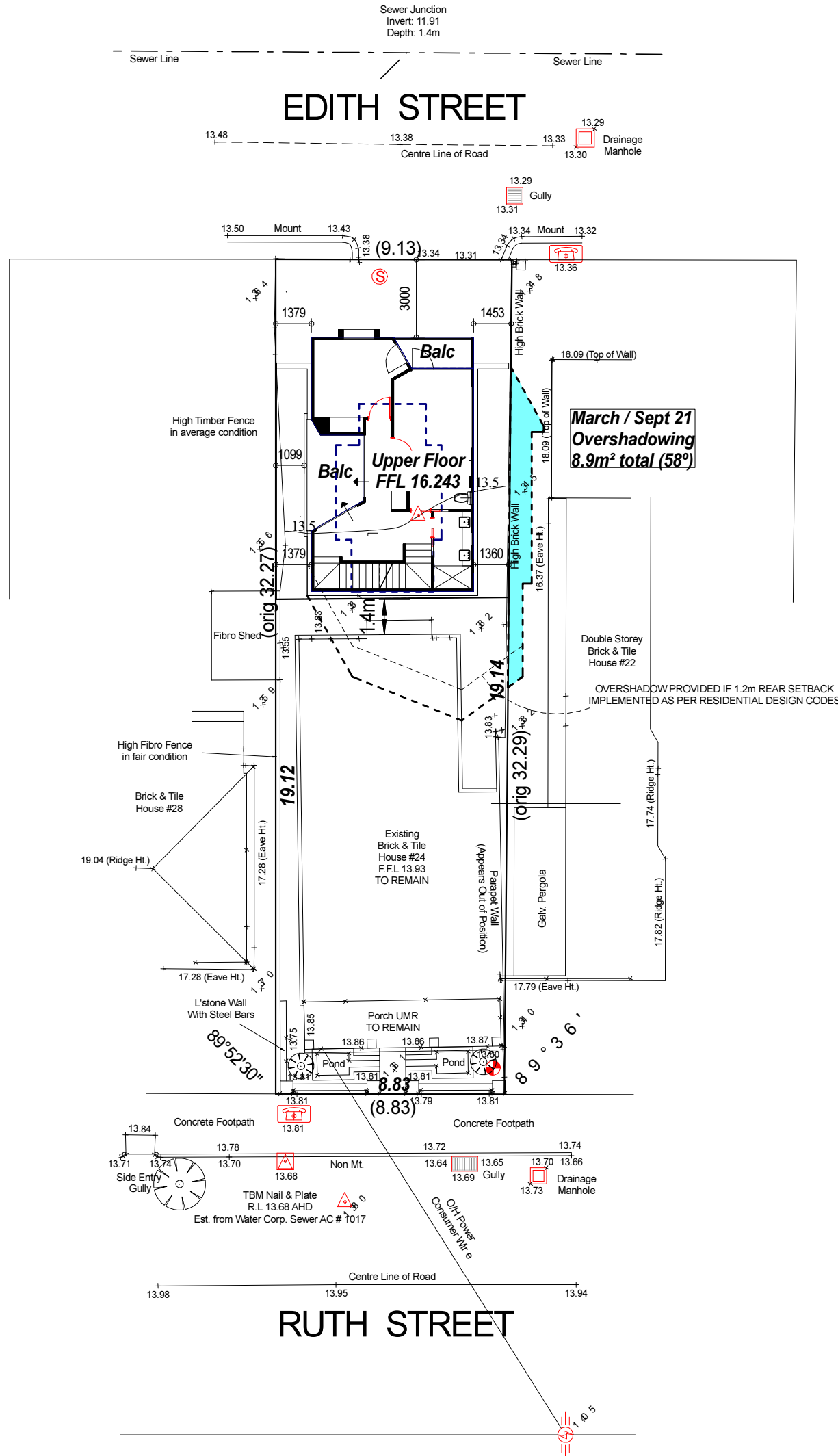
STREET NAME : RUTH STREET
 LOT No. : 123
 HOUSE No. : 24
 SUBURB : PERTH
 AUTHORITY : CITY OF VINCENT
 ZONE : R80

LEGEND

- WATER METER
- SEWER AC
- TELSTRA PIT
- POWER POLE
- SEWER CONN.
- TREE (TO SCALE)
- WINDOW
- DOOR
- TEMP. BENCHMARK
- SURVEY STATION



UPPER SITE PLAN - SINGLE DWELLING FOR P. NGO,
 REAR #24 RUTH ST, PERTH (EDITH ST).
 AUG 2014 REVISION B (SCALE 1:200) - SHEET 7 OF 7



SCALE 1:200 @A3

IMPORTANT NOTES:

- THIS PLAN IS INTENDED FOR THE DEPT OF PLANNING & INFRASTRUCTURE ONLY.
- SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK WITH APPROPRIATE AUTHORITY BEFORE ADOPTION OF POSITION.
- THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES.
- CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

VISION SURVEYS
 Licensed & Engineering Surveyors
 Land Development Consultants
 Project Managers

| | | | |
|--------------------|-------------|--------------|-----------------|
| VOL: XXXX | FOLIO: XXXX | Level Datum | AHD(Approx.) |
| MAP REF: XXXXXXXXX | | Scale | 1:200 |
| | | Date | 26/06/2013 |
| | | Dwg Ref | Ruth 24 Perth F |
| | | Surveyor | |
| | | Drafter | Darryl Stone |
| | | Checked | |
| | | Sheet 1 of 1 | A3 |

TEL (08) 6144 0000
 FAX (08) 6144 0099
 59 SCARBOROUGH BEACH RD,
 SCARBOROUGH WA 6019
 Email: info@visionsurveys.com.au

| | | | | |
|--|------------------|------------|-------------|--------------|
| | PLAN / DIAG / SP | D8920 | TELSTRA | PIT |
| | ELECTRICITY | OVERHEAD | SEWERAGE | YES |
| | WATER | CONNECTION | DRAINAGE | GOOD |
| | GAS | YES | VEG. / SOIL | AS DESCRIBED |