

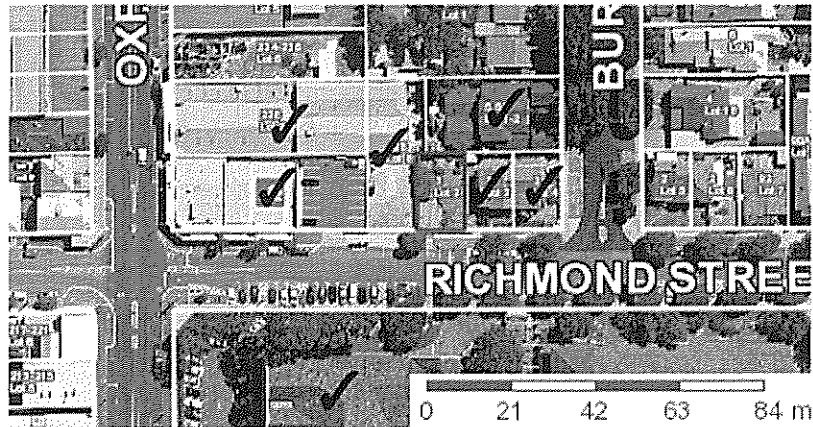


CITY OF VINCENT

244 Vincent Street (cnr Loftus Street), Leederville,
Western Australia, 6007
PO Box 82, Leederville, 6902

Property Information Report:

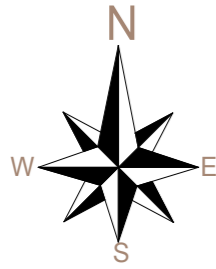
**Subject Property – 3 Burgess Street, Leederville
LOT: 2 D/P: 2039**



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✓ Properties Consulted

LOT 2



NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

SOIL DESCRIPTION

Sand
Light Grass Cover

NOTE:
LOT MISCLOSE
(0.008 m)

DANMAR HOMES

Registered Builder No. 9032 ABN 38 059 497 773
Level 1/470 Scarborough Beach Road
Osborne Park WA 6017
P.O.Box 1814, Osborne Park DC WA 6916
Tel (08) 9445 7833 Fax (08) 9445 7933
www.danmarhomes.com

SHEET 11 OF 11

CLIENT: ITEM 9.1.1 CONTRACT / JOB NO.

McSkimming

8878

MAP REF:
342-24/53

SITE SURVEY

LOT 2

COASTAL NO

(Scaled from StreetSmart Directory Only)

OLD AREA

#3 Richmond Street

Suburb Leederville

Loc.Auth. TOWN OF VINCENT

Plan 2039 Volume 969 Folio 1

Location Check Title

NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

NOTE:
Approx. Sewer clearance line,
(THIS IS NOT AN EASEMENT)
no encasing. To be verified with
Water Corp.



Brick & Galv.
-Well Clear

RAMSET NAIL
IN CONCRETE
FOOTING

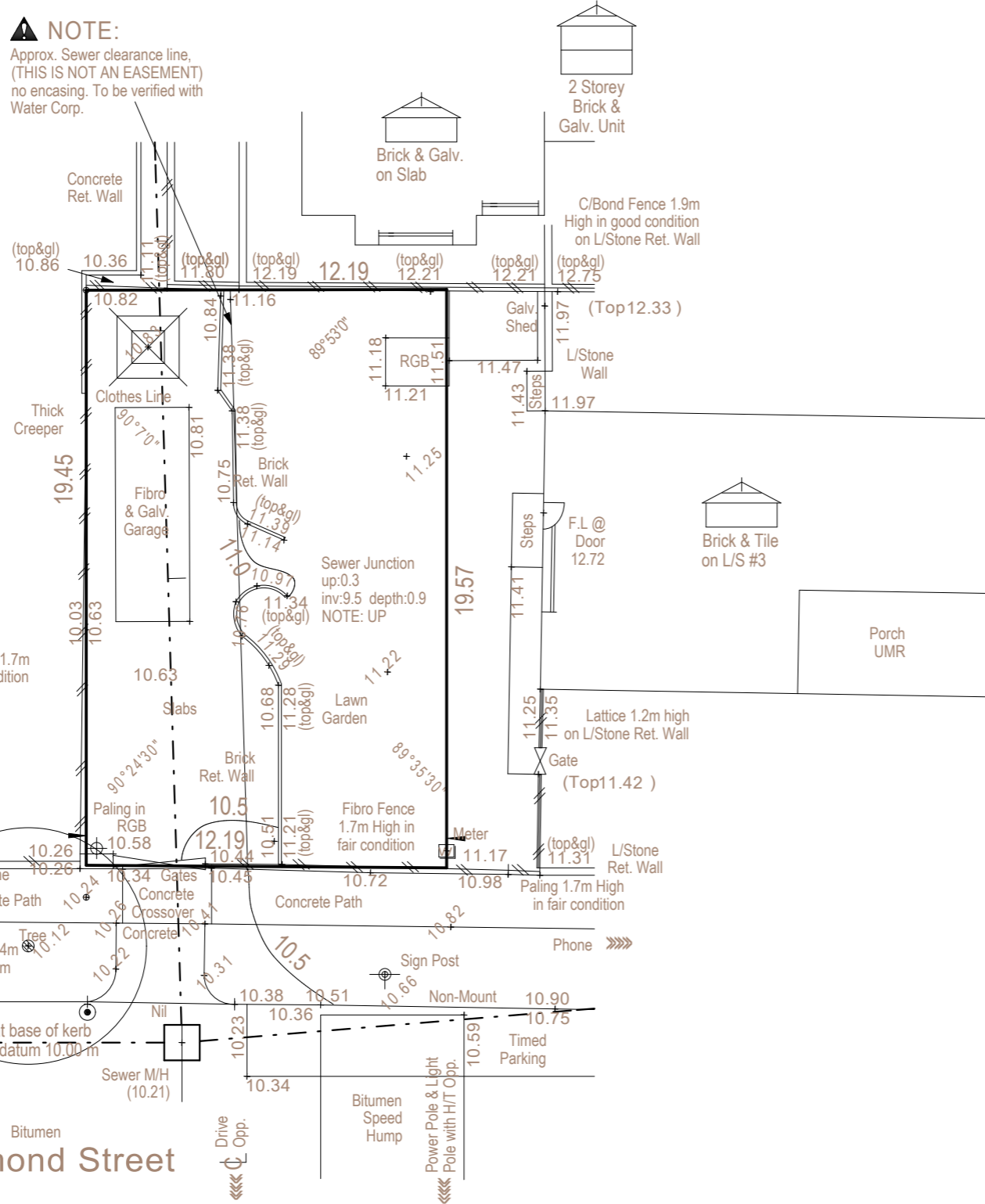
BITUMEN
CARPARK

FADED
PEN MARK
ON PATH
(LINE ONLY)

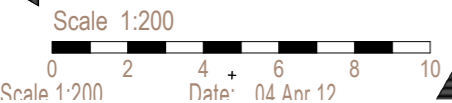
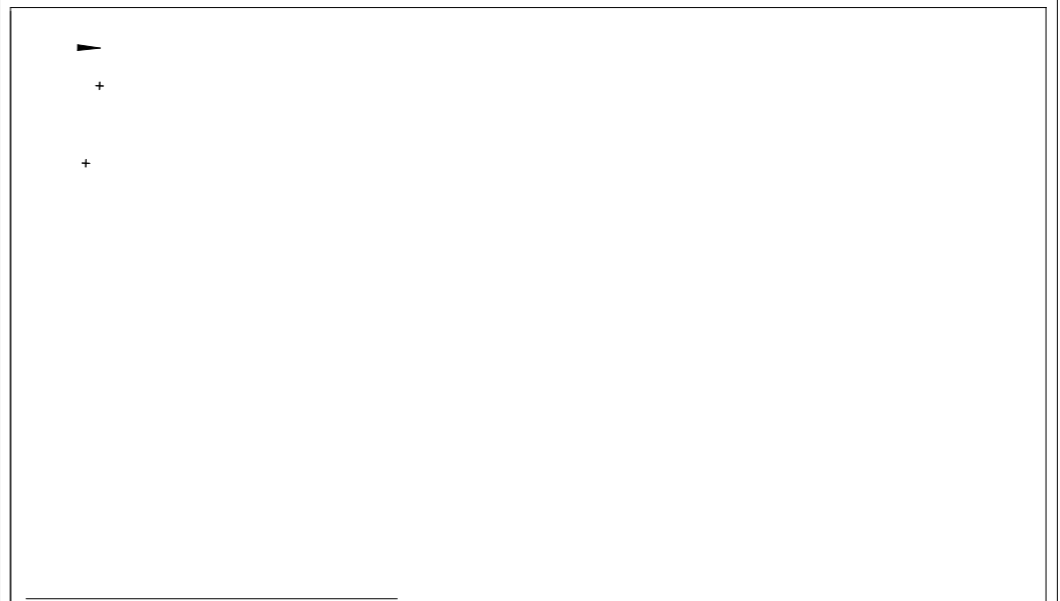
Cyclone Fence 1.8m
High in good condition

Power Pole
with H/T Opp.

Richmond Street



Elec	U/Ground / O/Head	Water	Yes	Sewer	Yes
Gas	Alinta Gas Map Indicates Gas In Area Check Your Lot call 131358	Phone	Yes	Footpath	Concrete
Road	Bitumen	Kerb	Non-Mount / Nil	Drainage	Good



NOTE: All Sewer details plotted from information supplied by Water Corporation.

NOTE/BEWARE: ADVISE TRADES
O/Head power lines

COTTAGE & ENGINEERING
SURVEYS

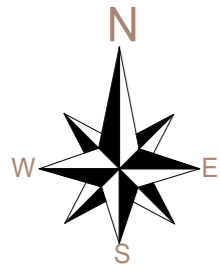
Licensed Surveyors

87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email: perth@cottage.com.au Website: www.cottage.com.au

979535 J/No: Drawn: R Mikaric

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT. REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

NOTE:



NOTE: ALL FEATURES SHOWN ON SURVEY ARE POSITIONED FROM EXISTING PEGS/FENCES & WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT.

SOIL DESCRIPTION

Sand
Light Grass Cover

NOTE: LOT MISCLOSE (0.008 m)

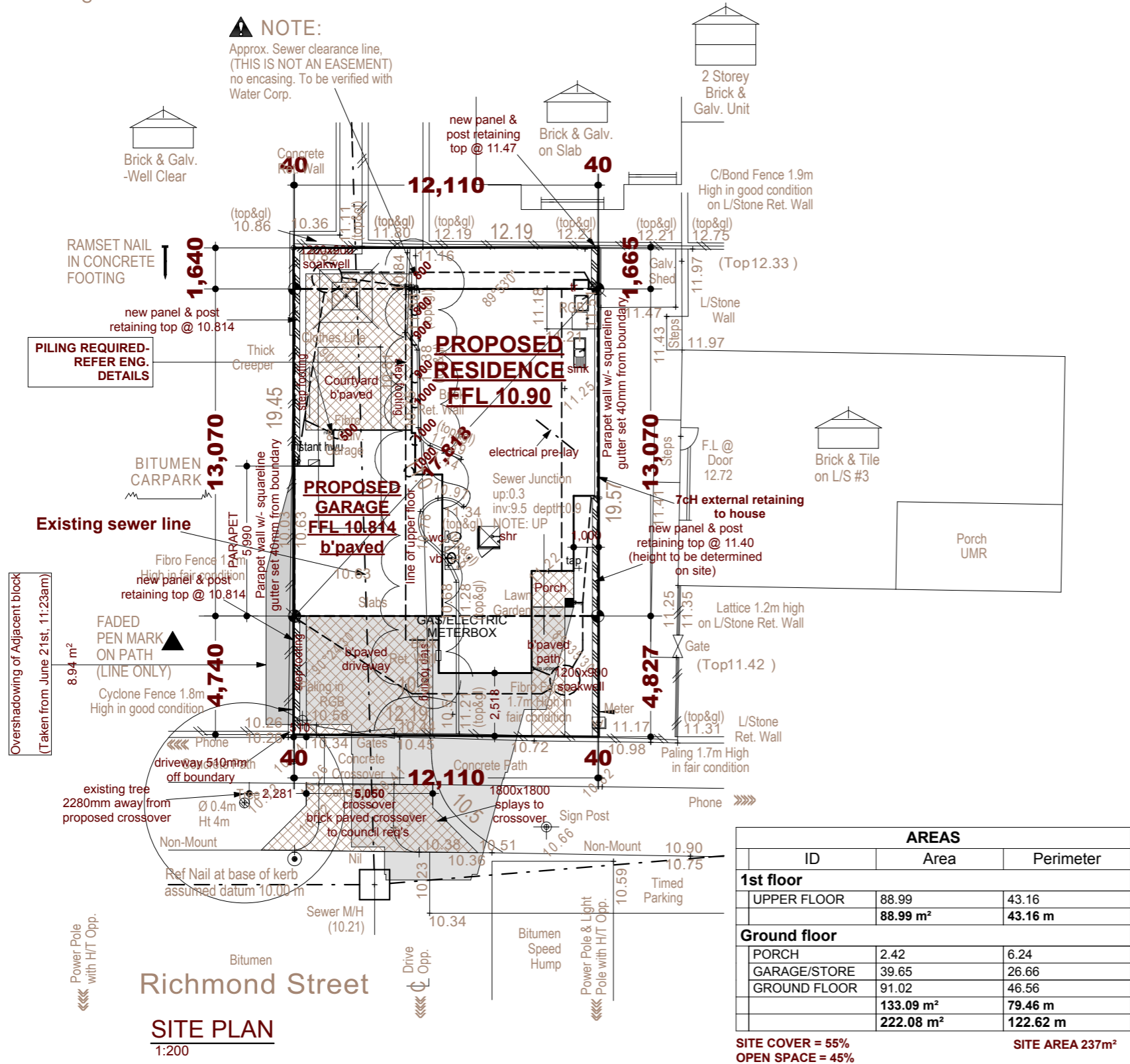
DANMAR HOMES

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P.O.Box 1814, Osborne Park DC WA 6916
Tel (08) 9445 7833 Fax (08) 9445 7933
www.danmarhomes.com

CLIENT: **McSkimming** ITEM 9.1.1 CONTRACT / JOB NO. **8878**
MAP REF. 342-24/53
SITE SURVEY **LOT 2** COASTAL NO (Scaled from StreetSmart Director Only)
#3 Richmond Street OLD AREA
Suburb **Leederville**
Loc.Auth. **TOWN OF VINCENT**
Plan **2039** Volume **969** Folio **1**
Location **Check Title**

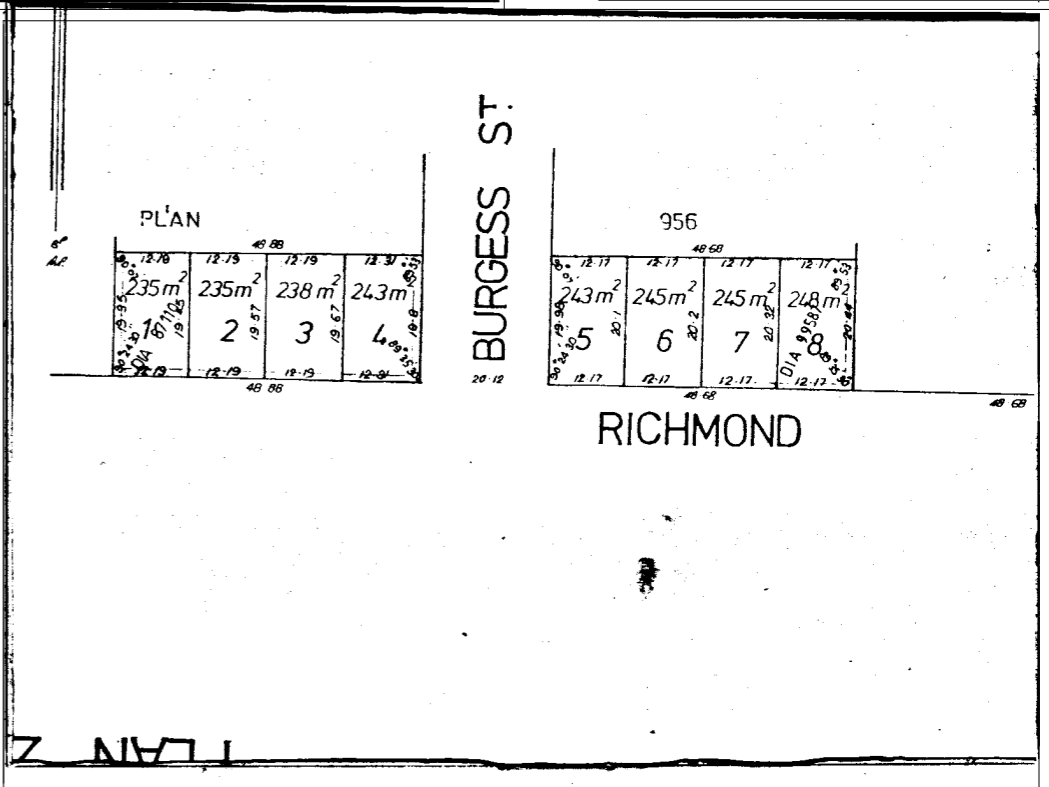
SHEET 10 OF 11

COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

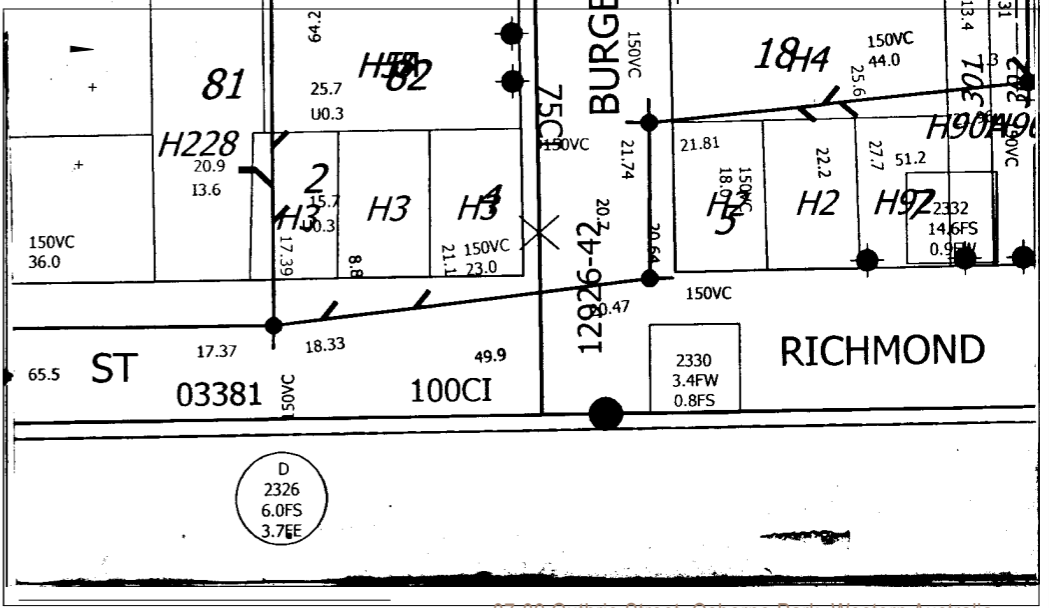


AREAS		
ID	Area	Perimeter
1st floor		
UPPER FLOOR	88.99	43.16
88.99 m²		43.16 m
Ground floor		
PORCH	2.42	6.24
GARAGE/STORE	39.65	26.66
GROUND FLOOR	91.02	46.56
133.09 m²		79.46 m
222.08 m²		122.62 m

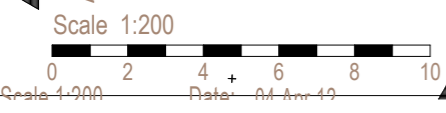
SITE COVER = 55%
OPEN SPACE = 45%
SITE AREA 237m²



Elec ⊕ U/Ground / O/Head = ⊙ = Water Yes Sewer Yes
Gas Alinta Gas Map Indicates Gas In Area Check Your Lot call: 131358 Phone Yes Footpath Concrete
Road Bitumen Kerb Non-Mount / Nil Drainage Good



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NOTES:
Check all dimension on site prior to construction

Refer to engineers details for all concrete footing, slab, Floortech, system and stair details

Clay bricks throughout unless otherwise noted wall thickness shall be :
- Internal wall: 90mm
- External wall: 250mm (110 50 90)

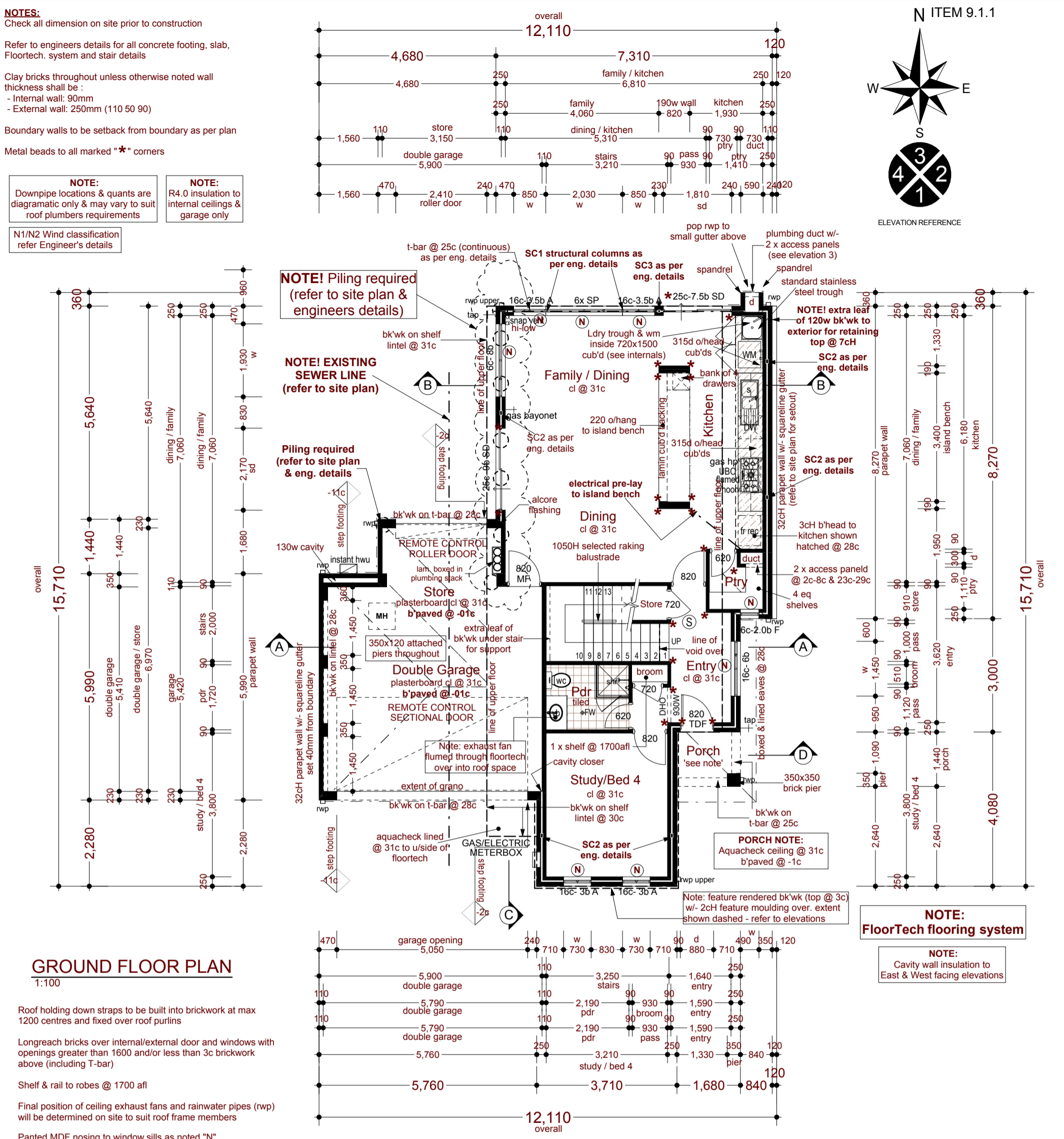
Boundary walls to be setback from boundary as per plan

Metal beads to all marked "*" corners

NOTE:
Downpipe locations & quants are diagrammatic only & may vary to suit roof plumbers requirements

NOTE:
R4.0 insulation to internal ceilings & garage only

N1/N2 Wind classification refer Engineer's details



GROUND FLOOR PLAN
1:100

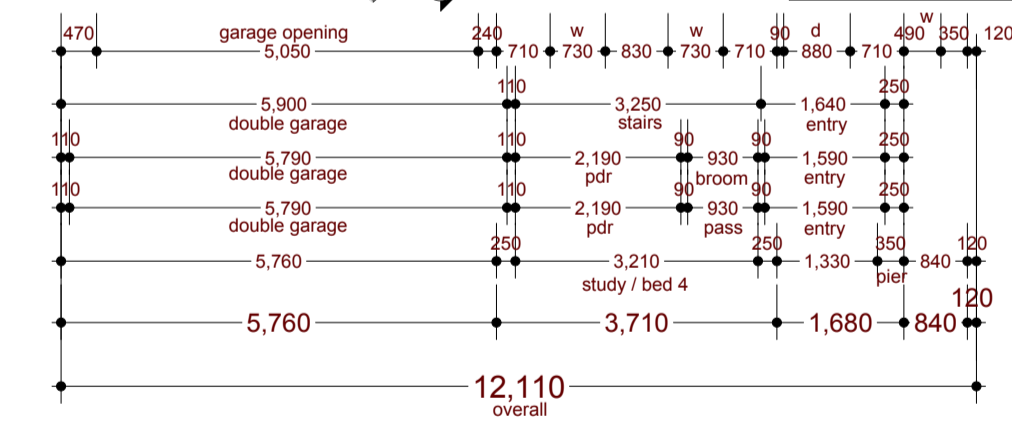
Roof holding down straps to be built into brickwork at max 1200 centres and fixed over roof purlins

Longreach bricks over internal/external door and windows with openings greater than 1600 and/or less than 3c brickwork above (including T-bar)

Shelf & rail to robes @ 1700 afl

Final position of ceiling exhaust fans and rainwater pipes (rwp) will be determined on site to suit roof frame members

Panted MDF nosing to window sills as noted "N"



NOTE:
FloorTech flooring system

NOTE:
Cavity wall insulation to East & West facing elevations

AREAS		
ID	Area	Perimeter
1st floor		
UPPER FLOOR	88.99	43.16
	88.99 m²	43.16 m
Ground floor		
PORCH	2.42	6.24
GARAGE/STORE	39.65	26.66
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Tel (08) 9445 7833 Fax (08) 9445 7933
www.danmarhomes.com

House type : 'Special'

Proposed residence

For: **McSkimming**
Lot No: **2**
#3 Richmond Street
Leederville

Note:
All plans & elevations are diagrammatic only and should not be used to scale exact sizes. Brick measurements do not allow for plastering finish.

This plan forms part of the documents as noted below

Contract-
Prestart-
Final Plans-
Client/s: _____

Date: _____
Builder: _____

Variations.

V/O No.	Date/Dwn.	Chkd.
engineers 20-6-12 GH		

Sheet 1 of 11

Job No: **8878**

Current Date 2/08/2012

Drawn	Date	Chkd.
GH	10-4-12	#Check

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NOTES:
Check all dimension on site prior to construction

Refer to engineers details for all concrete footing, slab, suspended slab and stair details

Clay bricks throughout unless otherwise noted wall thickness shall be :
- Internal wall: 90mm
- External wall: 250mm (110 50 90)

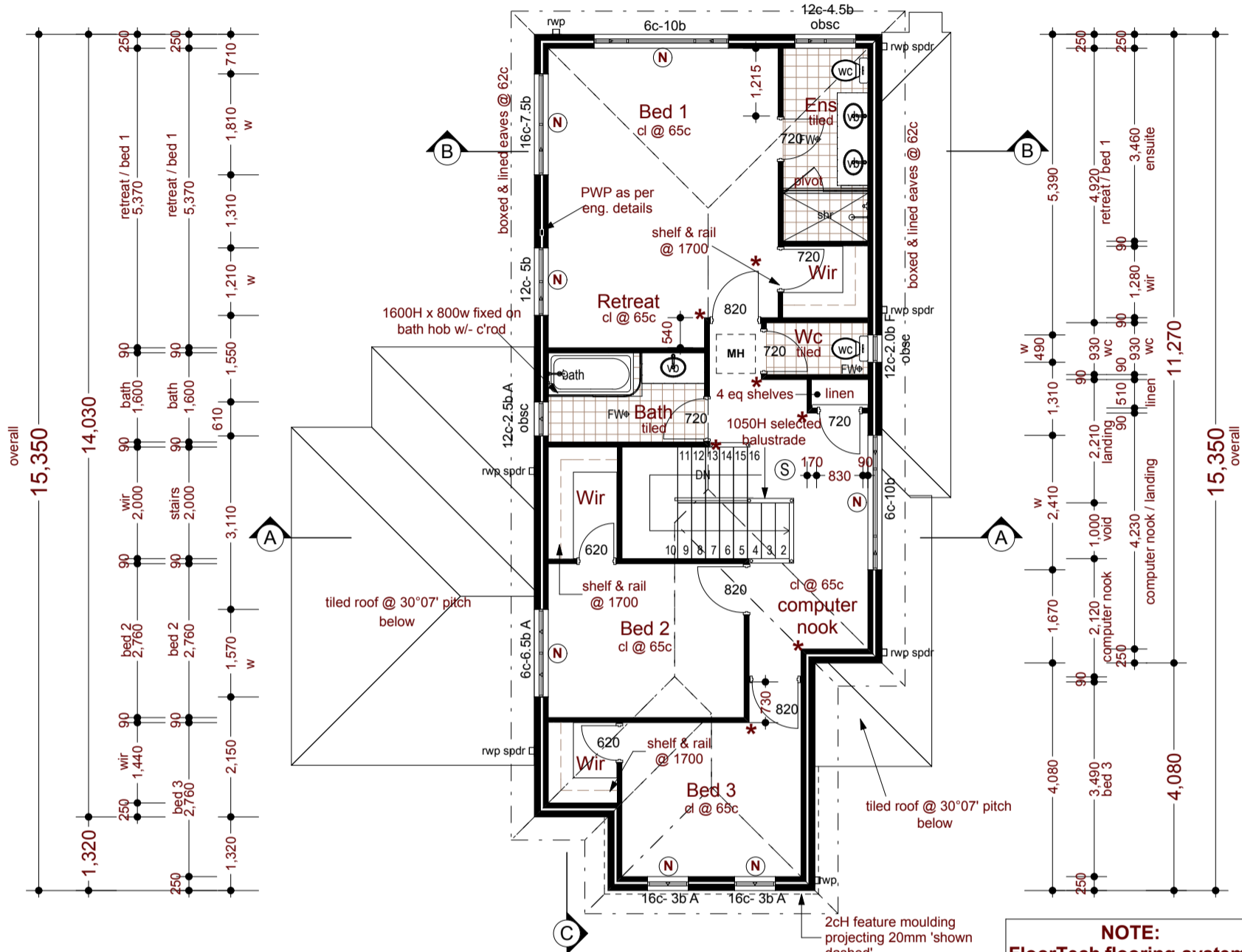
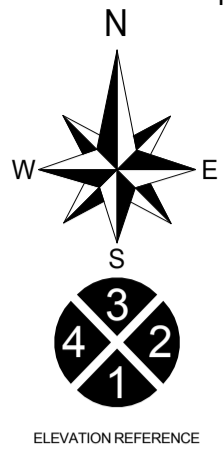
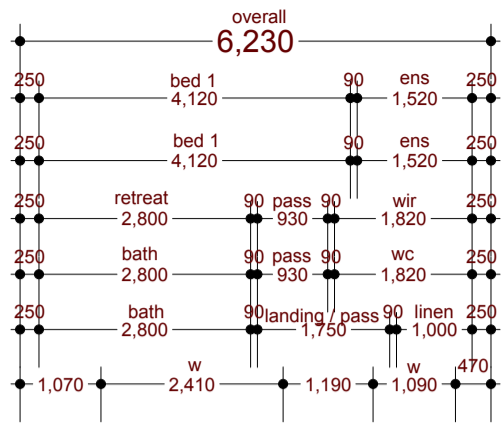
Boundary walls to be setback from boundary as per plan

Metal beads to all marked "*" corners

NOTE:
Downpipe locations & quants are diagrammatic only & may vary to suit roof plumbers requirements

NOTE:
R4.0 insulation to internal ceilings & garage only

N1/N2 Wind classification refer Engineer's details



UPPER FLOOR PLAN
1:100

Roof holding down straps to be built into brickwork at max 1200 centres and fixed over roof purlins

Longreach bricks over internal/external door and windows with openings greater than 1600 and/or less than 3c brickwork above (including T-bar)

Shelf & rail to robes @ 1700 afl

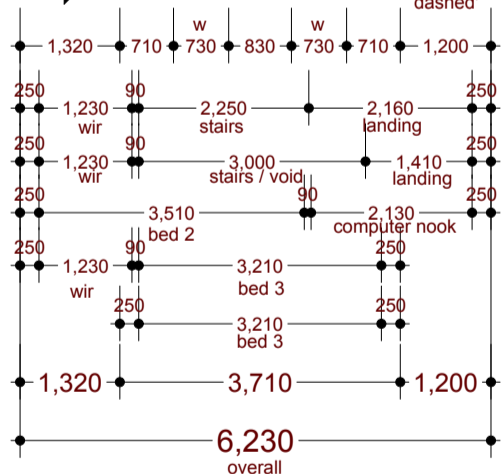
Final position of ceiling exhaust fans and rainwater pipes (rwp) will be determined on site to suit roof frame members

Panted MDF nosing to window sills as noted "N"

NOTE:
FloorTech flooring system

NOTE:
Cavity wall insulation to East & West facing elevations

NOTE! Holes to be placed in UB or UC beams for plumbing requirements as per eng. specified details (refer to notes on page 9 of 9 on engineers)



AREAS		
ID	Area	Perimeter
1st floor		
UPPER FLOOR	88.99	43.16
	88.99 m²	43.16 m
Ground floor		
PORCH	2.42	6.24
GARAGE/STORE	39.65	26.66
GROUND FLOOR	91.02	46.56
	133.09 m²	79.46 m
	222.08 m²	122.62 m

Upper floor plan
Scale as shown on A3

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P.O.Box 1814, Osborne Park DC WA 6916
Tel (08) 9445 7833 Fax (08) 9445 7933
www.danmarhomes.com

House type : 'Special'

Proposed residence
For: McSkimming
Lot No: 2
#3 Richmond Street
Leederville

Note:
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Contract-
Prestart-
Final Plans-
Client/s: _____

Date: _____
Builder: _____

Variations.

V/O No.	Date/Dwn.	Chkd.
engineers 20-6-12 GH		

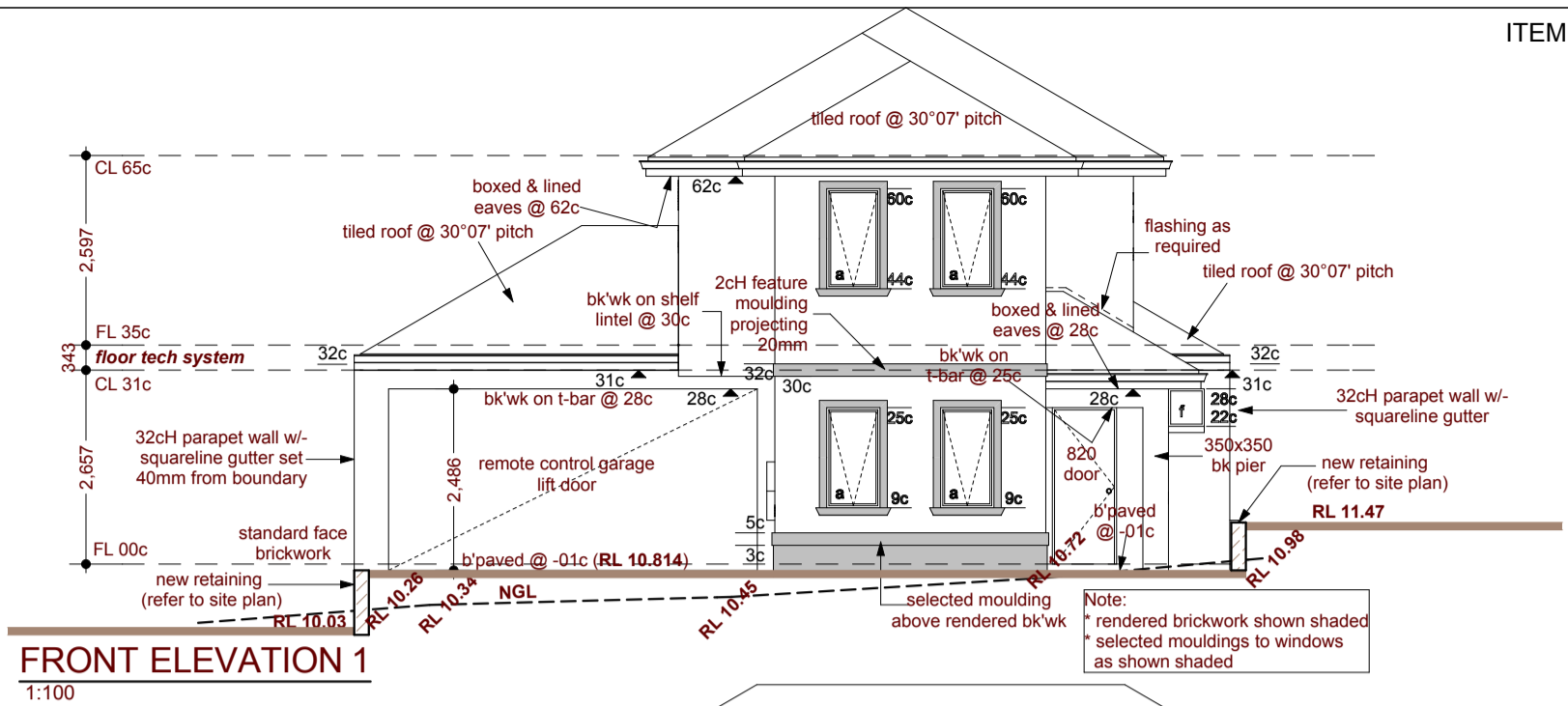
Sheet 2 of 11

Job No: **8878**

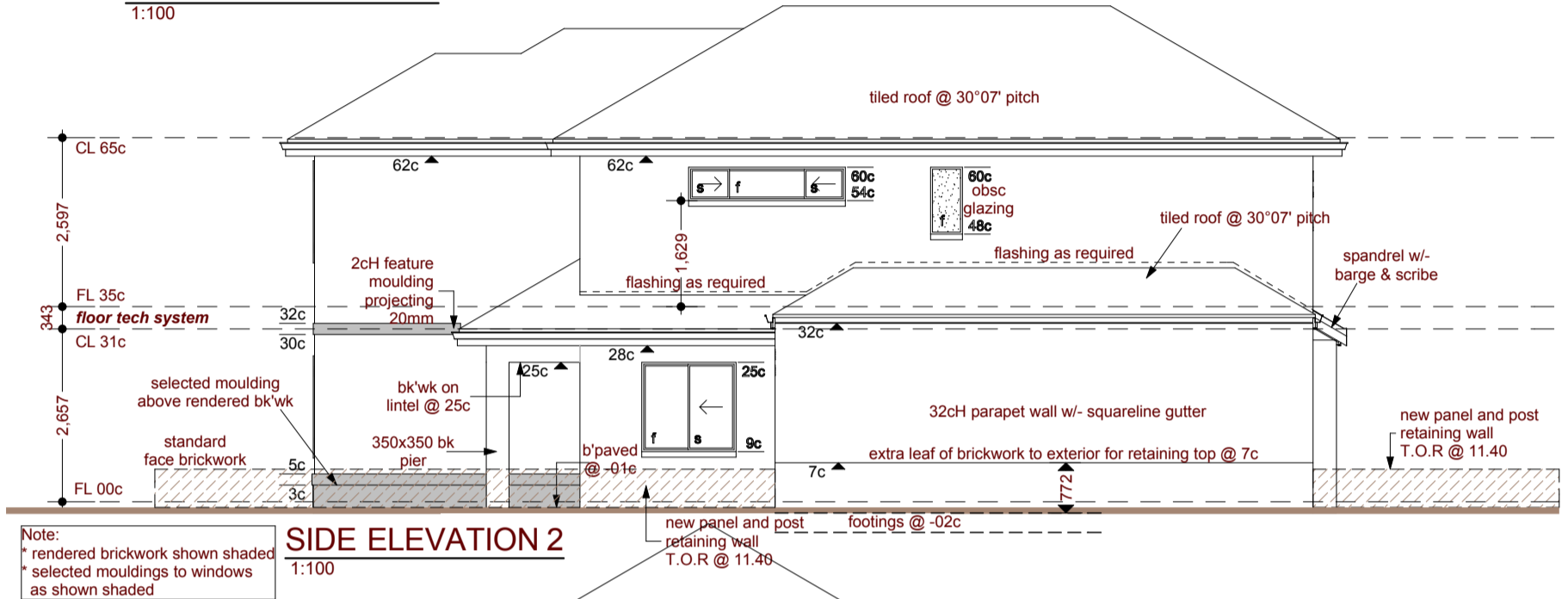
Current Date 2/08/2012

Drawn	Date	Chkd.
GH	10-4-12	#Check

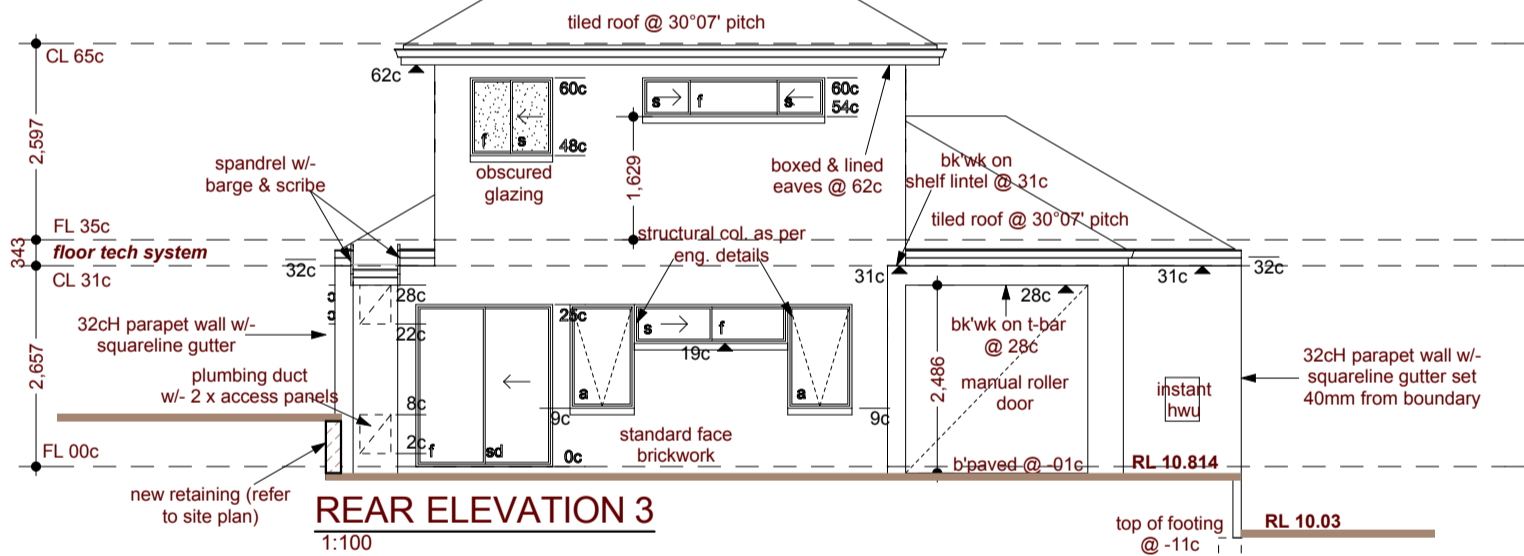
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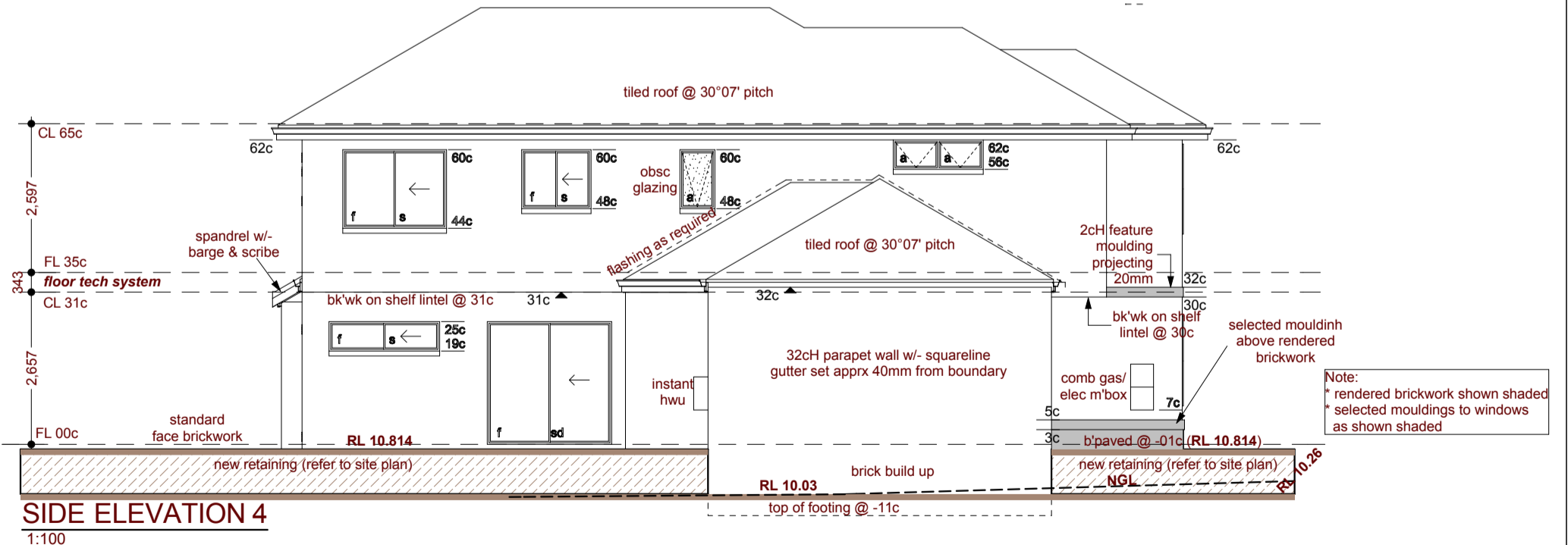
FRONT ELEVATION 1
1:100



SIDE ELEVATION 2
1:100



REAR ELEVATION 3
1:100



SIDE ELEVATION 4
1:100

External elevations (1-4)
Scale as shown on A3

House type : 'Special'

Proposed residence

For: **McSkimming**
Lot No: **2**
#3 Richmond Street
Leederville

Note:
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Contract-
Prestart-
Final Plans-
Client/s:

Date:
Builder:

Variations.

V/O No. Date/Dwn. Chkd.
engineers 20-6-12 GH

Sheet 3 of 11

Job No: **8878**

Current Date 2/08/2012

Drawn	Date	Chkd.
GH	10-4-12	#Check

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