

5.1 NO. 26 (LOT: 29; D/P: 4576) MOIR STREET, PERTH - PROPOSED ALTERATIONS AND ADDITIONS TO SINGLE HOUSE (AMENDMENT TO APPROVED)

Ward: South

Attachments:

1. Consultation and Location Plan
2. Development Plans
3. Heritage Impact Statement
4. Previous Development Approval

RECOMMENDATION:

That Council, in accordance with the provisions of the City of Vincent Local Planning Scheme No. 2 and the Metropolitan Region Scheme, **APPROVES** the application for Alterations and Additions to Single House (Amendment to Approved) at No. 26 (Lot: 29; D/P: 4576) Moir Street, Perth, subject to the following conditions:

1. All conditions, requirements, advice notes and plans detailed on the development approval 5.2020.452.1 granted on 14 December 2021 continue to apply to this approval except as follows:
 - 1.1 Condition 1 is modified as follows:
 1. This approval is for Alterations and Additions to Single House as shown on the approved plans dated 17 March 2023. No other development forms part of this approval.

EXECUTIVE SUMMARY

The purpose of this report is to consider an application to amend a previous development approval for a two storey addition to the rear of an existing single house at No. 26 Moir Street, Perth (the subject site).

The subject site is within the Brookman and Moir Streets Heritage Precinct (Precinct) and is on the City of Vincent Heritage List and State Heritage Register.

The proposed amendments to the previous approval relate to a reduction in the length of the addition, and minor changes to colours and materials and to window styles and design. These amendments do not result in any new or greater departures to the deemed-to-comply standards of the planning framework.

Developments within the Precinct are subject to consideration against Appendix 6 – Brookman and Moir Streets Development Guidelines (Brookman/Moir Guidelines) and Policy No. 7.6.1 – Heritage Management – Development Guidelines for Heritage and Adjacent Properties (Heritage Management Policy). These policies seek to protect the existing streetscapes and heritage character of the Precinct, and guide the intended built form and design of new development.

The proposed amendments would not affect the development's compatibility with the heritage significance of the subject site and wider Precinct. The development would still be respectful to the current and intended character of the Precinct, with the proposed amendments having also received support from the City's Design Review Panel (DRP) Member and the Heritage Council of Western Australia (HCWA).

The proposal is acceptable as considered against the applicable planning framework, including the Brookman/Moir Guidelines and the Heritage Management Policy, and it is recommended for approval.

PROPOSAL:

The application proposes to amend a previous development approval for two storey alterations and additions to the rear of the existing single storey single house on the subject site.

The amendments proposed to the previously approved development are summarised as follows:

- A reduction in the overall length of the rear two storey addition by 0.35 metres.
- Confirmation of the materials and finishes of the development which include the following changes to the finishes:
 - South-east and north-east elevations previously included masonry render with white paint finish and red face brick. The amended proposed colours and materials include red face brickwork to the ground floor and Weather Tex Cladding in 'Weathergroove' to the upper floor.
 - Roof sheeting has changed from corrugated sheeting to Lysaght Longline 305 Colourbond roofing in 'Shale Grey'.
- Removal of the window shroud to the upper floor bedroom window on the rear elevation. The overall size of this window has reduced and the glazing has been modified to obscured glazing.
- All upper floor windows have been reduced in overall size and the walk-in-robe upper floor window has moved across the elevation by approximately 0.7 metres.

All other aspects of the proposal remain as previously approved.

The proposed development plans are included as **Attachment 2**. Side-by-side comparisons showing the changes between the previously approved plans and the proposed amended plans are also contained in **Attachment 2**.

The applicant's Heritage Impact Statement for the proposed amendments is included as **Attachment 3**.

The applicant has advised that the proposed amendments are design adjustments that have been made during the detailed design process that occurred following receipt of the previous approval.

BACKGROUND:

Landowner:	Alan Stewart and Sarah Schwikkard
Applicant:	Alan Stewart and Sarah Schwikkard
Client:	Alan Stewart and Sarah Schwikkard
Date of Application:	17 March 2023
Zoning:	MRS: Urban LPS2: Zone: Residential R Code: R25
Built Form Area:	Residential
Existing Land Use:	Single House
Proposed Use Class:	Single House
Lot Area:	300m ² and 2.0m ² (Multi-lot title)
Right of Way (ROW):	N/A
Heritage List:	City of Vincent Heritage List – Management Category A State Heritage Register

Site Context and Zoning

The subject site is bound by Moir Street to the north west and single storey single houses to the north east, south east and south west. A location plan is included as **Attachment 1**.

The subject site and adjoining properties are zoned Residential R25 under the City's Local Planning Scheme No.2 (LPS2) and are located within the Residential Built Form Area under the City's Policy No. 7.1.1 – Built Form (Built Form Policy) and have a building height standard of two storeys.

The subject site accommodates an existing single storey dwelling and is located within the Brookman and Moir Streets Precinct. The Precinct was subdivided and developed for housing in 1897. The subject site has a width of 10.0 metres and length of 30.2 metres. Lots within the Precinct have a north west/south east orientation and are vulnerable to overshadowing from development to the north.

Nos. 26 and 28 Moir Street appear as duplex homes when viewed from Moir Street and share a common boundary wall.

Heritage Listing – Brookman and Moir Streets Precinct

The Precinct includes Nos. 1-32 Brookman Street, Nos. 2-28 Moir Street and No. 40 Forbes Road, Perth and is listed on the City of Vincent Heritage List as Management Category A – Conservation Essential. The Precinct is also included on the State Heritage Register.

The Heritage Council's Statement of Significance for the Precinct is as follows:

Brookman and Moir Streets Precinct, two streets in Perth comprising 58 semidetached residences and one detached residence in two types of the Federation Queen Anne style, constructed of limestone and brick with corrugated-iron roofs in 1897-98, and a shop at the corner of Moir Street and Forbes Road built in 1940, has cultural heritage significance for the following reasons:

- *the historic precinct is an almost-complete example of two late 19th century streets of modestly-scaled residential buildings in the Federation Queen Anne style of architecture, built between 1897-98 in the wake of the rapid population expansion following the Western Australian gold boom;*
- *the historic precinct is a substantial section of the residential estate developed by the Colonial Finance Corporation in 1897-1898. This estate, comprising the historic precinct in Brookman and Moir Streets, and Baker's Terrace in Lake Street, was the largest estate of its type developed in Western Australia;*
- *the historic precinct is rare in Western Australia as two streets in which a single basic design was utilised for all the residences in a large estate, with the exception of Numbers 2 and 4 Brookman Street, which are grander variations of the same pattern used throughout the precinct, that is relatively intact;*
- *the buildings contained within the precinct are representative of what was considered to be 'working class' rental accommodation from the late 19th and early 20th centuries;*
- *the one-way thoroughfares and modest lot sizes of the semi-detached dwellings contained within the precinct give it a particular character and sense of enclosure;*
- *the homogeneity of the modestly-scaled, semi-detached residential buildings creates a visually striking precinct in an inner city residential area; and*
- *the historic precinct was developed by the Colonial Finance Corporation who named Brookman and Moir Streets after two of the principal investors in the company who were prominent Western Australians.*

Generally, the present property fencing and most plantings are of little significance.

Recent additions and modifications are of little significance, e.g. replacements of original details.

Parking areas in the front of houses, and carports in the front setbacks, are intrusive. A small number of high masonry construction fences in the precinct are intrusive.

Previous Approval

Council at its Ordinary Meeting on 14 December 2021 conditionally approved an application for Alterations and Additions to Single House on the subject site. The alterations and additions included the demolition of the existing rear kitchen, store and bathroom, and the construction of a two storey extension at the rear including a ground floor kitchen, living and dining area and an upper floor master suite.

The previously approved development was supported by the HCWA and the City's DRP Member.

The previous approval notice and development plans are included as **Attachment 4**.

DETAILS:

Summary Assessment

The table below summarises the planning assessment of the proposal against the provisions of the State Government’s Residential Design Codes Volume 1 (R Codes), the City’s Built Form Policy, the Brookman/Moir Guidelines and the Heritage Management Policy. In each instance where the proposal requires the further discretion of Council, the relevant planning element is discussed in the Detailed Assessment section following from this table.

Planning Element	Deemed-to-Comply / Acceptable Outcomes (or equivalent)	Previously approved	Requires the further Discretion of Council
Street Setback	✓		
Lot Boundary Setbacks		✓	
Boundary Walls	✓		
Building Height/Storeys	✓		
Open Space		✓	
Outdoor Living Areas	✓		
Landscaping (R Codes)	✓		
Visual Privacy		✓	
Solar Access		✓	
Site Works/Retaining Walls	✓		
Essential Facilities	✓		
External Fixtures	✓		
Environmentally Sustainable Design	✓		
Heritage Management Policy		✓	
Brookman and Moir Streets Development Guidelines			✓

Detailed Assessment

The deemed-to-comply assessment of the element that requires the discretion of Council is as follows:

Brookman/Moir Guidelines	
Deemed-to-Comply/Acceptable Outcomes (or equivalent)	Proposal
No deemed-to-comply/acceptable outcomes (or equivalent) standards.	The proposal satisfies essential and discretionary controls, encouragement, and advice.
The Brookman/Moir Guidelines contains essential and discretionary controls, encouragement, and advice.	The proposal as considered against these, as well as the objectives of the Brookman/Moir Guidelines is detailed in the Comments section.

The application satisfies all deemed-to-comply and acceptable outcomes (or equivalent) standards in the R Codes, Built Form Policy, and the Heritage Management Policy.

The Heritage Management Policy sets out that proposed development that complies with acceptable development standards will generally be approved, and that the performance criteria describe the desired outcome to be achieved.

Unlike the Built Form Policy and R Codes, the Heritage Management Policy also requires consideration of the proposal against performance criteria even though it complies with the prescribed acceptable development standards. This is considered in the Comments section below.

CONSULTATION/ADVERTISING:

Community consultation was undertaken in accordance with the *Planning and Development (Local Planning Schemes) Regulations 2015* for a period of 14 days between 7 June 2022 and 20 June 2022.

The method of consultation included a notice on the City's website, a sign on site, and 75 letters being sent to owners and occupiers of adjoining and adjacent properties and all properties within the Precinct, in accordance with the City's Community and Stakeholder Engagement Policy, as shown in **Attachment 1**.

Two submissions were received at the conclusion of consultation, with both in objection.

Both submissions raised concerns with visual privacy in relation to the upper floor Bed 1 window on the south west elevation and the window design not being sufficient to provide visual privacy to the adjoining properties.

Administration reviewed the submissions received and notes that the subject window is proposed to be modified to have a sill height of 1.6 metres above the floor level. This complies with the deemed-to-comply standards under the R-Codes relating to visual privacy. This means it is acceptable and is not subject to Council's discretion.

Heritage Council of Western Australia

The application was referred to the HCWA for review and consideration in accordance with Section 73 of the *Heritage Act 2018* because the subject site is included on the State Register of Heritage Places. The proposed development plans together with the supporting Heritage Impact Statement were referred to the HCWA.

The HCWA supports the proposal and provided the following comments:

- The proposal is for minor design modifications to previous referrals that were previously supported.
- The updated design changes are considered minor, and will have no further negative impact on the identified cultural significance of the registered place.

Design Review Panel (DRP):

Referred to DRP: Yes

The proposal was referred to the City's DRP Member with expertise in heritage conservation and architecture for comment. Comments were requested on the acceptability of the proposal as considered against the 10 principles of good design.

The DRP Member was supportive of the proposal and provided the following comments:

- The changes to the design are minor and do not compromise the approved design outcome.
- After considering the previously approved development and the minor proposed modifications, the proposal retains the significant building and building fabric, and does not negatively impact on the cultural heritage values of the Brookman and Moir Streets Heritage Precinct.
- The proposed minor amendments are acceptable and do not affect any comments provided by the DRP on the previously approved development.

A summary of the design review progress is shown in the table below.

Design Review Progress Report	
	<i>Supported</i>
	<i>Pending further attention</i>
	<i>Not supported</i>
	<i>Not relevant to this proposal</i>
	<i>DRP Member Referral</i>
Principle 1 – Context & Character	
Principle 2 – Landscape Quality	
Principle 3 – Built Form and Scale	
Principle 4 – Functionality & Built Quality	
Principle 5 – Sustainability	
Principle 6 – Amenity	
Principle 7 – Legibility	
Principle 8 – Safety	
Principle 9 – Community	
Principle 10 – Aesthetics	

LEGAL/POLICY:

- *Planning and Development Act 2005;*
- *Heritage Act 2018;*
- *Planning and Development (Local Planning Schemes) Regulations 2015;*
- *City of Vincent Local Planning Scheme No. 2;*
- *Burra Charter;*
- *State Planning Policy 3.5 - Historic Heritage Conservation;*
- *State Planning Policy 7.3 – Residential Design Codes;*
- *Community and Stakeholder Engagement Policy;*
- *Policy No. 7.1.1 – Built Form Policy;*
- *Policy No. 7.6.1 – Heritage Management – Development Guidelines for Heritage and Adjacent Properties; and*
- *Planning and Building Policy Manual Appendix 6 – Brookman and Moir Streets Development Guidelines*

Planning and Development Act 2005

In accordance with Schedule 2, Clause 76(2) of the *Planning and Development (Local Planning Scheme) Regulations 2015*, and Part 14 of the *Planning and Development Act 2005*, the applicant would have the right to apply to the State Administrative Tribunal for a review of Council's determination.

Planning and Development (Local Planning Schemes) Regulations 2015

In accordance with [Clause 67\(2\)](#) of the Deemed Provisions in the *Planning and Development (Local Planning Schemes) Regulations 2015* (Planning Regulations) and in determining a development application, Council is to have due regard to a range of matters to the extent that these are relevant to the development application.

The matters for consideration relevant to this application relate to the compatibility of the development within its setting, amenity and character of the locality, cultural significance of the Precinct, consistency with planning policies, submissions during community consultation, and advice from the DRP and HCWA.

Local Planning Scheme No. 2

The objectives of the Residential zone under LPS2 are a relevant consideration for the application. These objectives are:

- *To provide for a range of housing and a choice of residential densities to meet the needs of the community;*
- *To facilitate and encourage high quality design, built form and streetscapes throughout residential areas;*
- *To provide for a range of non-residential uses, which are compatible with and complementary to residential development;*
- *To promote and encourage design that incorporates sustainability principles, including but not limited to solar passive design, energy efficiency, water conservation, waste management and recycling;*
- *To enhance the amenity and character of the residential neighbourhood by encouraging the retention of existing housing stock and ensuring new development is compatible within these established areas;*
- *To manage residential development in a way that recognises the needs of innovative design and contemporary lifestyles; and*
- *To ensure the provision of a wide range of different types of residential accommodation, including affordable, social and special needs, to meet the diverse needs of the community.*

Burra Charter

The *Australia ICOMOS Charter for Places of Cultural Significance, the Burra Charter 2013* (the Burra Charter) sets a standard of practice for those who provide advice, make decisions about, and undertake work to places of cultural significance. The Burra Charter applies to all types of places of cultural significance, including the subject site.

In accordance with Article 22.1 of the Burra Charter, 'new work' is acceptable where it respects the cultural significance of the place. This can be done through consideration of its siting bulk, form, scale, character, colour, texture, and material. In accordance with Article 22.2 of the Burra Charter, the works should be readily identifiable but should respect the cultural significance of the place.

State Planning Policy 3.5 – Historic Heritage Conservation

State Planning Policy 3.5 – Historic Heritage Conservation (SPP 3.5) sets out principles of sound and responsible planning for the conservation and protection of Western Australia's historic heritage. These principles inform the heritage management standards of local planning policies.

Policy No. 7.6.1 – Heritage Management – Development Guidelines for Heritage and Adjacent Properties

As the subject site and adjoining properties to the north east and south west are heritage listed properties, the proposal is required to be assessed against both Parts 4 and 5 of the Heritage Management Policy.

The objectives of the Heritage Management Policy are to:

1. *Encourage the appropriate conservation and restoration of places listed on the City of Vincent Municipal Heritage Inventory (The Heritage List) in recognition of the distinct contribution they make to the character of the City of Vincent.*
2. *Ensure that works, including conservation, alterations, additions and new development, respect the cultural heritage significance associated with places listed on the City of Vincent Municipal Heritage Inventory.*
3. *Promote and encourage urban and architectural design that serves to support and enhance the ongoing significance of heritage places.*
4. *Ensure that the evolution of the City of Vincent provides the means for a sustainable and innovative process towards integrating older style buildings with new development.*
5. *Complement the State Planning Policy No. 3.5 'Historic Heritage Conservation' and the City of Vincent Residential Design Elements Policy and other associated Policies.*

Part 4 of the Heritage Management Policy relates to development to heritage listed buildings. The policy includes 'acceptable development' criteria as well as the following three performance criteria:

- P1 *Development is to comply with the statement of significance outlined in Heritage Assessment, Heritage Impact Statement and/or Place Record Form.*
- P2 *Alterations and additions to places of heritage value should be respectful of and compatible with existing fabric and should not alter or obscure fabric that contributes to the significance of the place.*
- P3 *To ensure the cultural heritage significance of a place is conserved and the majority of the significant parts of the heritage place and their relationship to the setting within the heritage place should be retained.*

Part 5 of the Heritage Management Policy relates to development adjacent to heritage listed buildings. The policy includes 'acceptable development' criteria as well as the following three performance criteria:

- P1 *New development maintains and enhances existing views and vistas to the principal façade(s) of the adjacent heritage listed place.*
- P2 *New development maintains and enhances the visual prominence and significance of the adjacent heritage listed place.*
- P3 *New development is of a scale and mass that respects the adjacent heritage listed place.*

Planning and Building Policy Manual Appendix 6 – Brookman and Moir Streets Development Guidelines

The Brookman/Moir Guidelines sets out essential and discretionary development controls, encouragement, and advice. It is a performance based policy.

Essential controls aim to ensure the integrity of the cultural heritage is protected and these controls are not flexible. Discretionary controls allow alterations to be made while encouragement and advice is offered as to the bulk, scale and detailing of additions.

The objectives of the Brookman/Moir Guidelines are:

- *Maintain consistency of the streetscape and valued character of the area;*
- *To allow alterations and additions to interpret the heritage significance of the dwellings in a contemporary design approach, ensuring consideration is given to the existing built form, context of the streetscape, roof form, and public domain and building proportion in the new building design;*
- *To allow for future upgrade of infrastructure elements to consider the heritage character of the area;*
- *Access to sunlight and privacy where already existing should be maintained with particular attention to overshadowing, with regard to the 'Residential Design Codes';*
- *Strengthen the settings of the front setback, side setbacks at the end of blocks and rear settings of dwellings to become more compatible to the heritage significance of the area. With importance placed on development adjacent to rights of way and Wellman Street;*
- *Ensure development along right of ways is compatible with right of way character and scale; and*
- *Allowance for properties with secondary street frontage adjacent to 'Forbes Street' and to be assessed with reference to the unique location and as well as in conjunction with the development guidelines.*

Draft Amendments to Brookman/Moir Guidelines

At its [Ordinary Meeting](#) on 4 April 2023, Council resolved to prepare amendments to the Brookman/Moir Guidelines for the purposes of community consultation.

The draft amended Brookman/Moir Guidelines seek to modify the format of the policy into deemed-to-comply and design principles as well as modify terms within the policy to be consistent with the current local and state planning framework. The overall intent, objectives and standards within the draft guidelines are largely consistent with those within the current guidelines.

Community consultation on the draft amended Brookman/Moir Guidelines has been undertaken in accordance with Clause 4(1)(2) of the *Planning Regulations*. Administration is in the process of reviewing comments received from the community before presenting the draft amended Brookman/Moir Guidelines to a future Ordinary Meeting of Council for adoption.

The ultimate approval of the draft amended Brookman/Moir Guidelines cannot be regarded as being 'certain' or 'imminent' in the form that it was advertised, which means that it is afforded lesser weight in the consideration of this application. Administration has considered the draft amended Brookman/Moir Guidelines in its assessment of the application.

Delegation to Determine Applications:

This matter is being referred to Council for determination in accordance with the City's Register of Delegations, Authorisations and Appointments.

This is because the delegation does not extend to applications that seek to amend a development approval previously determined by Council where further discretion is sought to previously approved departures to acceptable or deemed-to-comply standards, set out in the City's Local Planning Policies.

The application seeks to amend a development approval determined by Council that requires discretion to be exercised under the Brookman/Moir Guidelines and the Heritage Management Policy. This is because these policies require applications to be assessed against their objectives and performance criteria.

RISK MANAGEMENT IMPLICATIONS:

There are minimal risks to Council and the City's business function when Council exercises its discretionary power to determine a planning application.

STRATEGIC IMPLICATIONS:

This is in keeping with the City's Strategic Community Plan 2022-2032:

Innovative and Accountable

Our decision-making process is consistent and transparent, and decisions are aligned to our strategic direction.

SUSTAINABILITY IMPLICATIONS:

There are no sustainability implications from the proposed amendments subject to this application.

PUBLIC HEALTH IMPLICATIONS:

This report has no implication on the priority health outcomes of the City's *Public Health Plan 2020 – 2025*.

FINANCIAL/BUDGET IMPLICATIONS:

There are no finance or budget implications from this report.

COMMENTS:Summary Assessment

In assessing the application against the planning framework, it is recommended for approval. The following key comments are of relevance:

- The proposed amendments would not adversely impact the cultural heritage value of the place and as set out in the Statement of Significance.
- The building form of the proposed development to the street is the same as that previously approved, ensuring the scale of the development positively contributes to the streetscape and heritage value of the area.
- Changes to materials and finishes that can be viewed from the street, including red face brick and steel metal roofing, are sympathetic to the existing building fabric and to the streetscape.
- The amendments result in a reduction to overall visual scale presented to all adjoining properties as well as shadowing to the adjoining southern property.
- Change in materials do not mimic any of the essential design characteristics of the original house, allow the additions to be distinguished as 'new work' and would not impact negatively on the heritage precinct.

Heritage Management Policy and Brookman/Moir Guidelines

The proposed amendments do not result in any new or greater departures to the deemed-to-comply or acceptable outcomes standards of the R Codes and Built Form Policy.

The application satisfies essential and discretionary controls, encouragement, and advice in the Brookman/Moir Guidelines and the acceptable development standards of the Heritage Management Policy.

The proposed amendments are acceptable when assessed against the provisions and objectives of the Brookman/Moir Guidelines, and the performance criteria and objectives of the Heritage Management Policy, for the following reasons:

- Statement of Significance: The proposed amendments include the reduction in the length of the previously approved building addition, updates to the colours and materials, and the removal of the bedroom window shroud. These would not compromise the cultural heritage significance of the Precinct as detailed within the Statement of Significance. This is because the proposed changes would not affect the homogeneity of the Precinct that would be maintained while still accommodating for increased living spaces to the home to adapt and respond to the growing needs of the occupants.
- Streetscape Consistency: The development would remain single storey as viewed from Moir Street and would continue to be sited behind the principal façade. This would not be impacted by the proposed amendments. This would maintain the existing streetscape presence and single storey modest forms of Moir Street, and would not impact views to or the visual prominence of the principle façade of the dwelling, consistent with the Public Domain View standards of the Brookman/Moir Guidelines.
- Design Approach: The proposed development retains a contemporary design approach, with the development still being clearly distinguishable whilst sympathetic to the existing heritage place.
- Changes to Finishes: The changes to the colours and materials of the development would not compromise the approved design outcome and would maintain compatibility with the existing built form and context of the dwelling and streetscape.
- Scale and Mass: The development would maintain a scale and mass that respects the adjacent heritage dwellings, with the proposed reduction in the length of the previously approved building addition by 0.35 metres. This would reduce the overall building bulk, mass and overshadowing from the development to the adjoining properties. The building heights remain unchanged from previously approved and would maintain an appropriate response to the slope of the site and are compatible with heights of adjacent buildings and the existing dwelling on the subject site.
- DRP and HCWA: The amendments proposed would maintain appropriate conservation of the heritage place and no additional modifications are proposed to the existing building and fabric. Both the DRP Member and the HCWA supported the proposal, confirming that they consider the proposed amendments to be minor design modifications to the previously approved development that would not result in an impact to the cultural significance of the Precinct.

**CITY OF VINCENT
LOCAL PLANNING SCHEME NO. 2
SCHEME MAP 1 - LEEDERVILLE**

LEGEND

METROPOLITAN REGION SCHEME RESERVES

Note: The Western Australian Planning Commission care of the Department of Planning should be consulted for full information on the actual land requirements for all Metropolitan Region Scheme Reserves.

- PARKS AND RECREATION**
- R Restricted Public Access
- PRIMARY REGIONAL ROADS RESERVATION**
- OTHER REGIONAL ROADS RESERVATION**
- RAILWAYS**
- PUBLIC PURPOSES**
Particular use denoted as follows:
- H Hospital
- HS High School
- TS Technical School
- CP Car Park
- U University
- CG Commonwealth Government
- SU Special Use
- WSD Water Authority of Western Australia
- P Prison

CITY OF VINCENT LOCAL SCHEME RESERVES

- PUBLIC OPEN SPACE**
- R Restricted
- PUBLIC PURPOSES**
Particular use denoted as follows:
- PS Primary School
- CP Car Park
- CU Civic Uses
- HS High School
- I Institute for the Deaf
- W Water Supply Sewerage and Drainage
- TS Technical School

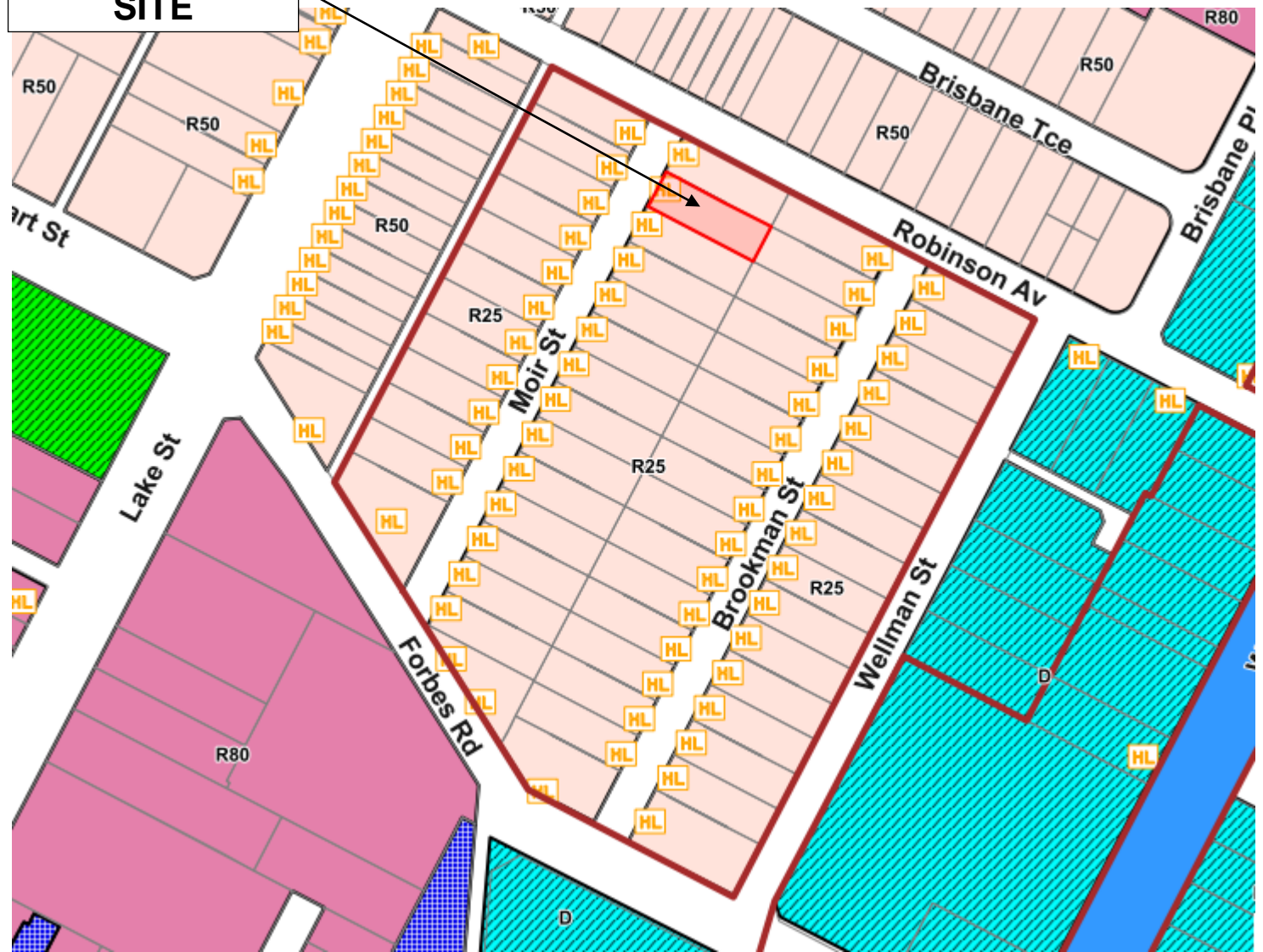
CITY OF VINCENT SCHEME ZONES

- RESIDENTIAL**
- MIXED USE**
- COMMERCIAL**
- LOCAL CENTRE**
- DISTRICT CENTRE**
- REGIONAL CENTRE**
- SPECIAL USE**
Particular use denoted as follows:
- CP Car Park
- CU Community Use
- FC Function Centre
- HC Hall and Non Residential Club
- H Hotel
- PW Place of Worship
- S Service Station

ADDITIONAL INFORMATION & RESIDENTIAL PLANNING CODES

- CODE AREA BOUNDARY**
- SCHEME AREA BOUNDARY**
- DENSITY CODE**

SUBJECT SITE



CITY OF VINCENT

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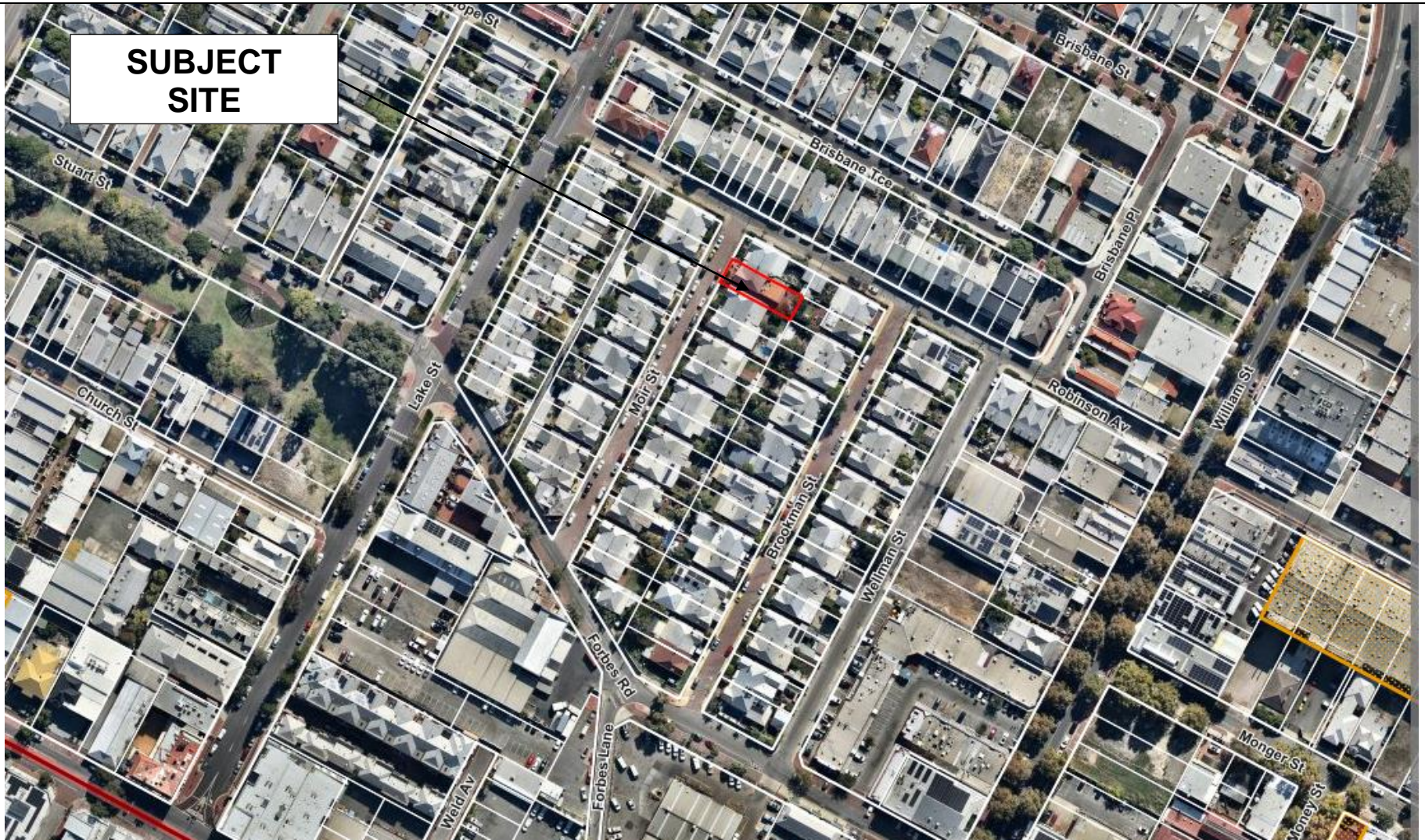
Consultation and Location Map

No. 26 Moir Street, Perth

Extent of Consultation



**SUBJECT
SITE**



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No. 26 Moir Street, Perth



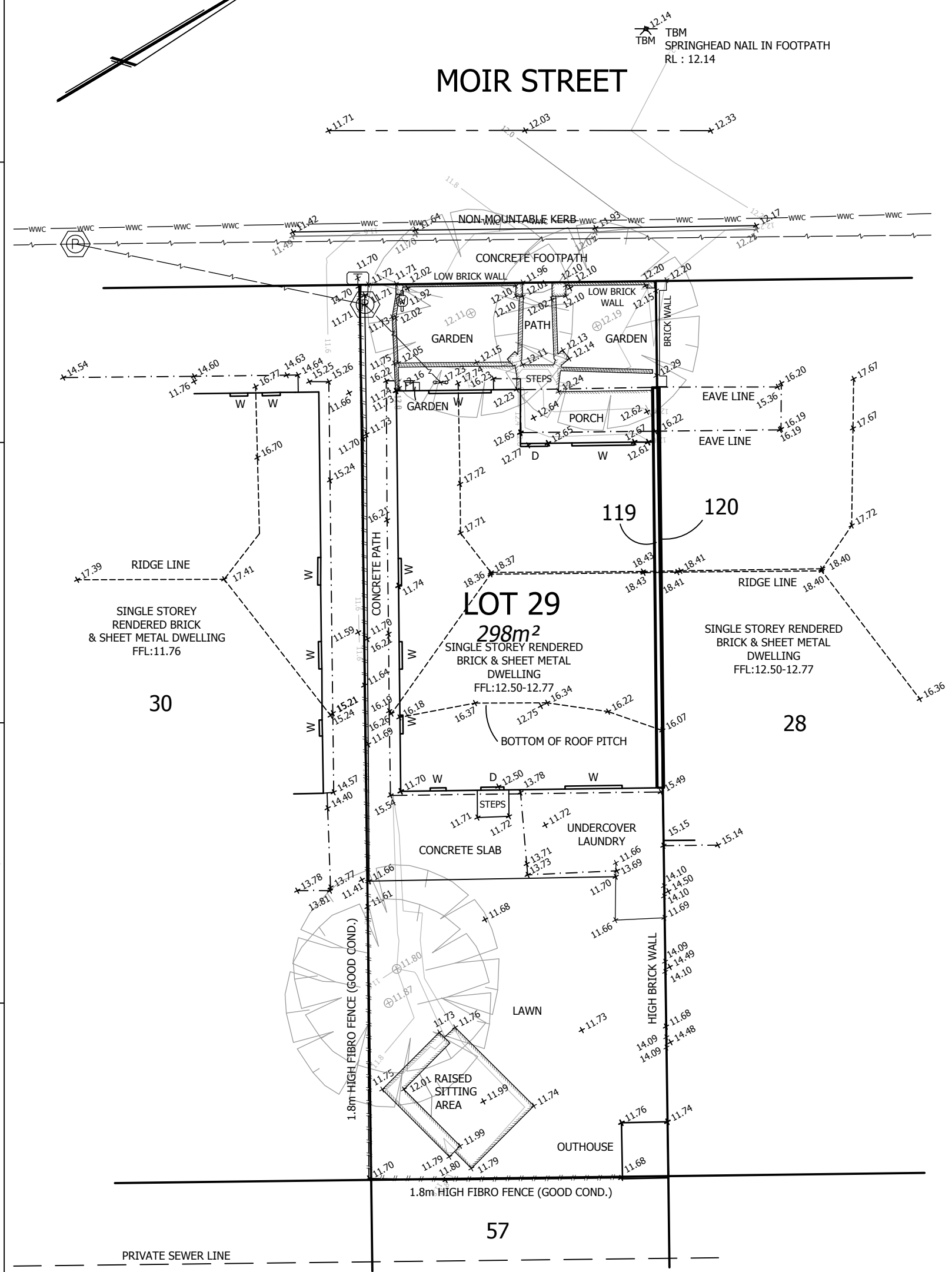
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17 March 2023

PLEASE SEE SHEET 2 FOR BOUNDARY INFORMATION

MOIR STREET

LEGEND

- BOUNDARY
 - - - ROAD CENTRE LINE
 - BOTTOM OF KERB
 - TOP OF KERB
 - BUILDING
 - - - EAVES/AWNING/OVERHANG
 - BRICK WALL
 - RETAINING WALL (TOP)
 - RETAINING WALL (BOTTOM)
 - TOP OF ROOF PITCH
 - FIBRE CEMENT FENCE
 - STEPS
 - FOOTPATH (SLAB)
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - OVERHEAD POWER LINES
 - ⊕ WATER METER
 - ⊕ CONSUMER POLE
 - ⊕ HOUSE CONNECTION POINT
 - ⊕ TELSTRA PIT
 - ⊕ TREE >0.2m - <0.4m
 - ⊕ TEMPORARY BENCH MARK
- WATER CORPORATION EPLAN SERVICES:
- wwc — WATER PIPE
 - PRIVATE SEWER LINE



SHEET 1 of 2

DATUMS

HORIZONTAL
PCG 94

VERTICAL
AHD (APPROX.) BASED ON VRS GPS
AUSGEOID '09

LOT MISCLOSE

Δ E = 0.000m
Δ N = 0.000m

SERVICE RECORD

SERVICE	STATUS			
	LOCATED	AVAILABLE	NO SERVICE	CONFIRM
WATER	✓			
SEWERAGE	✓			
GAS	✓			
TELSTRA	✓			
POWER	U/G			✓
	O/H	✓		

NOTE:
SERVICES MARKED CONFIRM
REQUIRE BUILDER/CLIENT TO
CONFIRM POSITION ON SITE.

NOTES

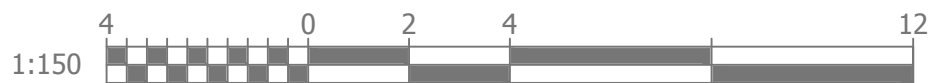
- REFER TO CERTIFICATE OF TITLE FOR ANY ENCUMBRANCES/EASEMENTS THAT MAY AFFECT THIS LOT.
- THE BOUNDARY HAS BEEN PEGGED. IF YOU INTEND TO ERECT ANY STRUCTURE ON THE BOUNDARY WE RECOMMEND YOU SET 0.030m OFF THE BOUNDARY TO AVOID ANY ENCROACHMENTS.
- OFFSETS ARE EXAGGERATED TO SHOW DETAIL.
- DIMENSIONS AND AREAS ARE ADOPTED FROM SURVEY PLAN UNLESS NOTED.
- ALL SEWER INFORMATION SUPPLIED BY WATER CORPORATION. SITE CONFIRMATION REQUIRED.
- REFER TO CERTIFICATE OF TITLE FOR ANY ENCUMBRANCES/EASEMENTS THAT MAY AFFECT THIS LOT.
- ALL TRADES TO BE AWARE OF THE PRESENCE OF OVERHEAD AND/OR UNDERGROUND POWER IN THE VICINITY OF THIS LOT.
- THIS PLAN IS ONLY TO BE USED FOR ITS INTENDED PURPOSE, NO RESPONSIBILITY IS TAKEN BY ORACLE SURVEYS PTY LTD FOR THE UNAUTHORIZED USE OF THIS PLAN FOR ANY OTHER USE.
- ORACLE SURVEYS PTY LTD ACCEPTS NO RESPONSIBILITY TO SURVEY DATA THAT HAS CHANGED AFTER THE DATE OF SURVEY.

REGULATION 25A LICENSED SURVEYORS ACT 1909 (AS AMENDED)

I JASON FREDERICK WEAIRE BEING A LICENSED SURVEYOR, CERTIFY THAT ON 15/05/17 I SUPERVISED OR PERSONALLY RE ESTABLISHED THE BOUNDARIES FOR THE LOT AS DESCRIBED ABOVE AND AS SHOWN ON THE SKETCH AND THAT THE SURVEY WAS PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF THE LICENSED SURVEYORS (GUIDANCE OF SURVEYORS) REGULATION 1961 AND THE LICENSED SURVEYORS (TRANSFER OF LAND ACT 1893) REGULATIONS 1961

JASON F. WEAIRE 15TH MAY 2017

SCALE 1:150 @ A3 LANDSCAPE



TITLE IDENTIFICATION SURVEY
LOT 29 (26) MOIR STREET
PERTH

CLIENT STEWART URBAN PLANNING

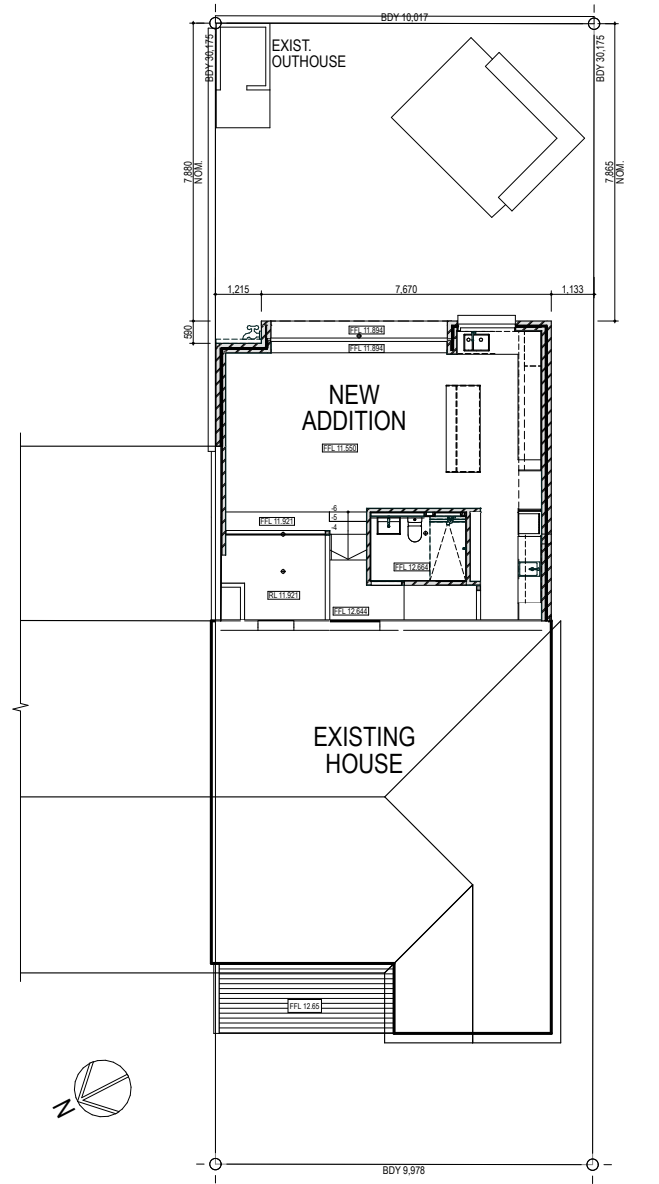
SURVEYOR	GK	ORACLE DWG REF	Moir Lot 29 (26)_I_Rev0.dwg
DRAFTER	MLT	ORACLE JOB No.	3168
CHECKED	GK	SURVEY PLAN	P 4576
		DATE SURVEYED	MAY 2017



SUBDIVISION & STRATA CONSULTANTS | PROJECT MANAGERS
ORACLE SURVEYS
LICENSED & ENGINEERING SURVEYORS

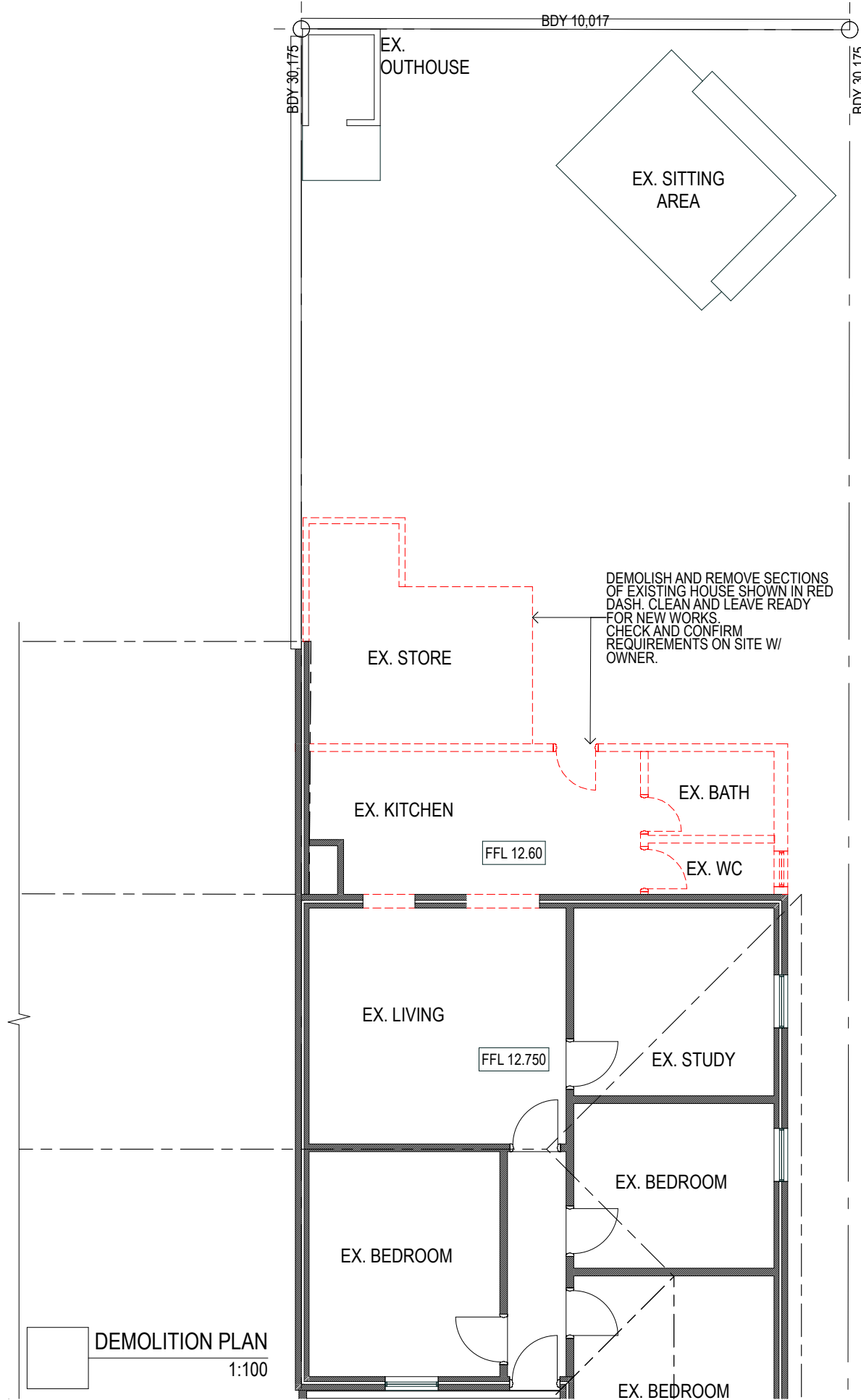
SUITE 11/342 ALBANY HIGHWAY VICTORIA PARK WA
PO BOX 668 VICTORIA PARK WA 6979 TEL (08) 9470 1888
EMAIL e@oraclesurveys.com.au WEB www.oraclesurveys.com.au

REV	DATE	BY	DESCRIPTION
0	16/05/17	JFW	ISSUED TO CLIENT



MOIR ST

SITE PLAN
1:200



DEMOLITION PLAN
1:100

Project ADDITION TO EXISTING HOUSE
26 MOIR ST, PERTH.

Job No. 1021

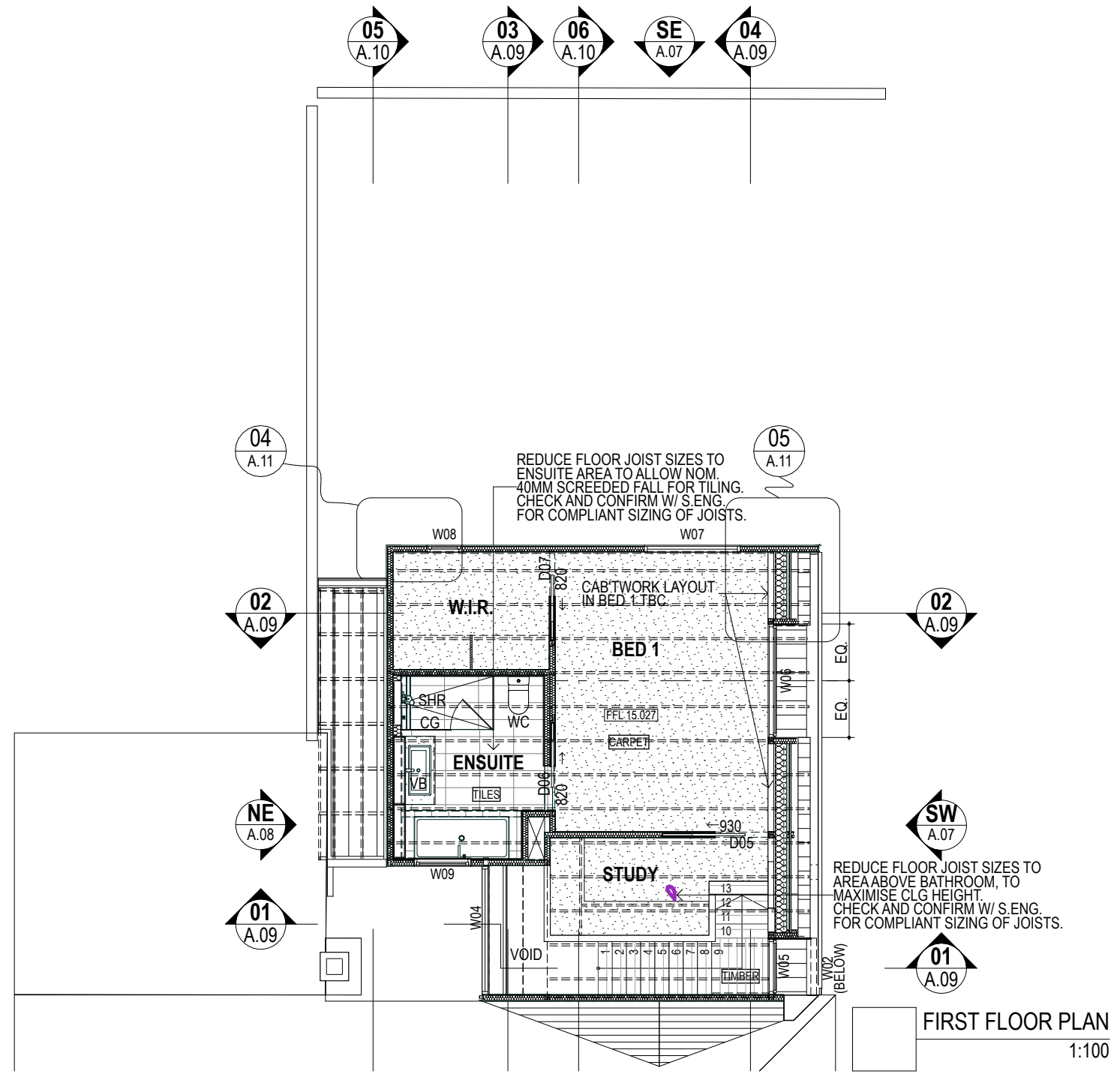
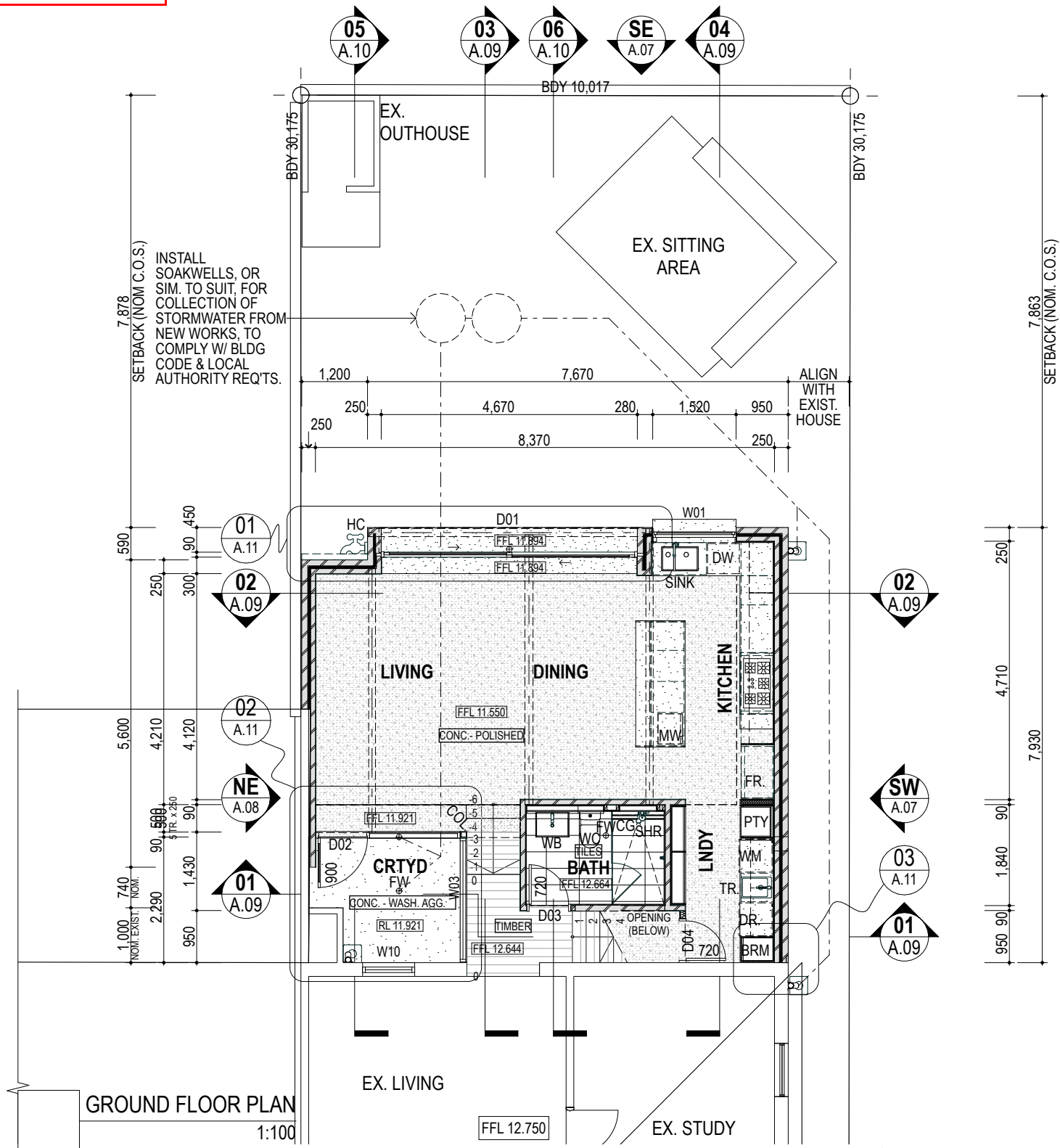
Scale 1:100 @ A3

Status **Amended DA**

Drawing SITE / DEMOLITION PLAN

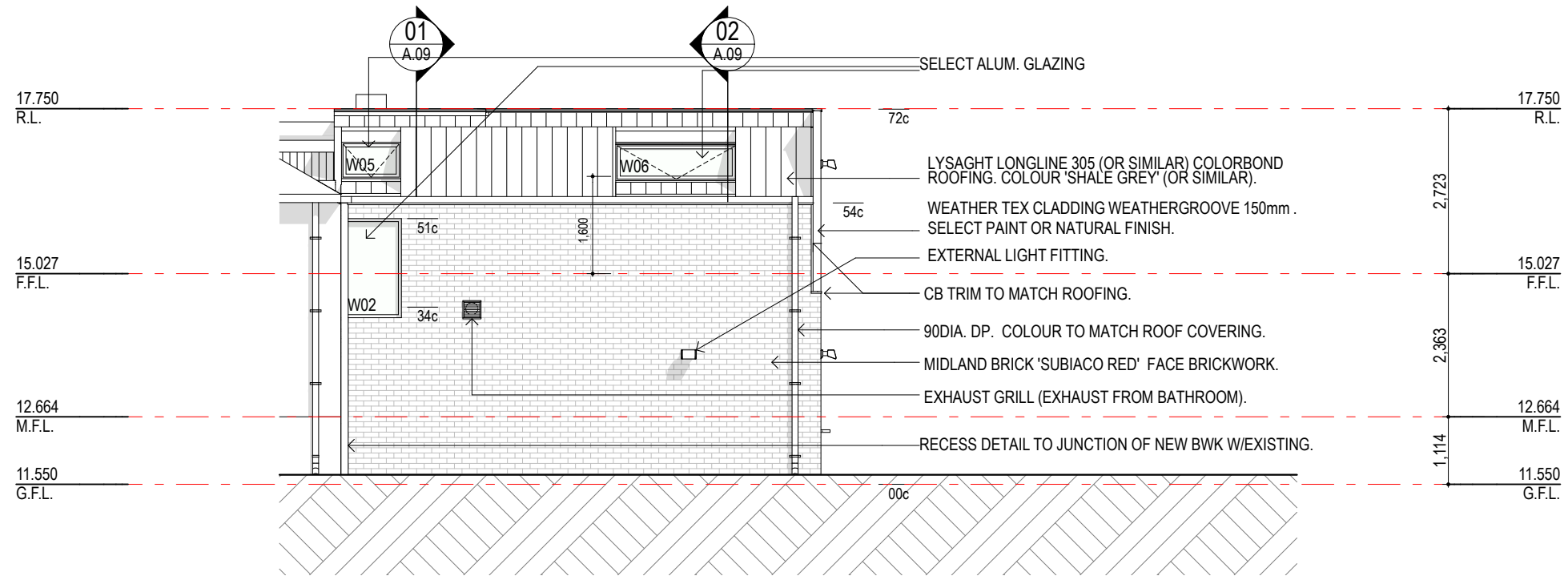
Drawing No. **A.01** Issue Issue Date
5/1/2023

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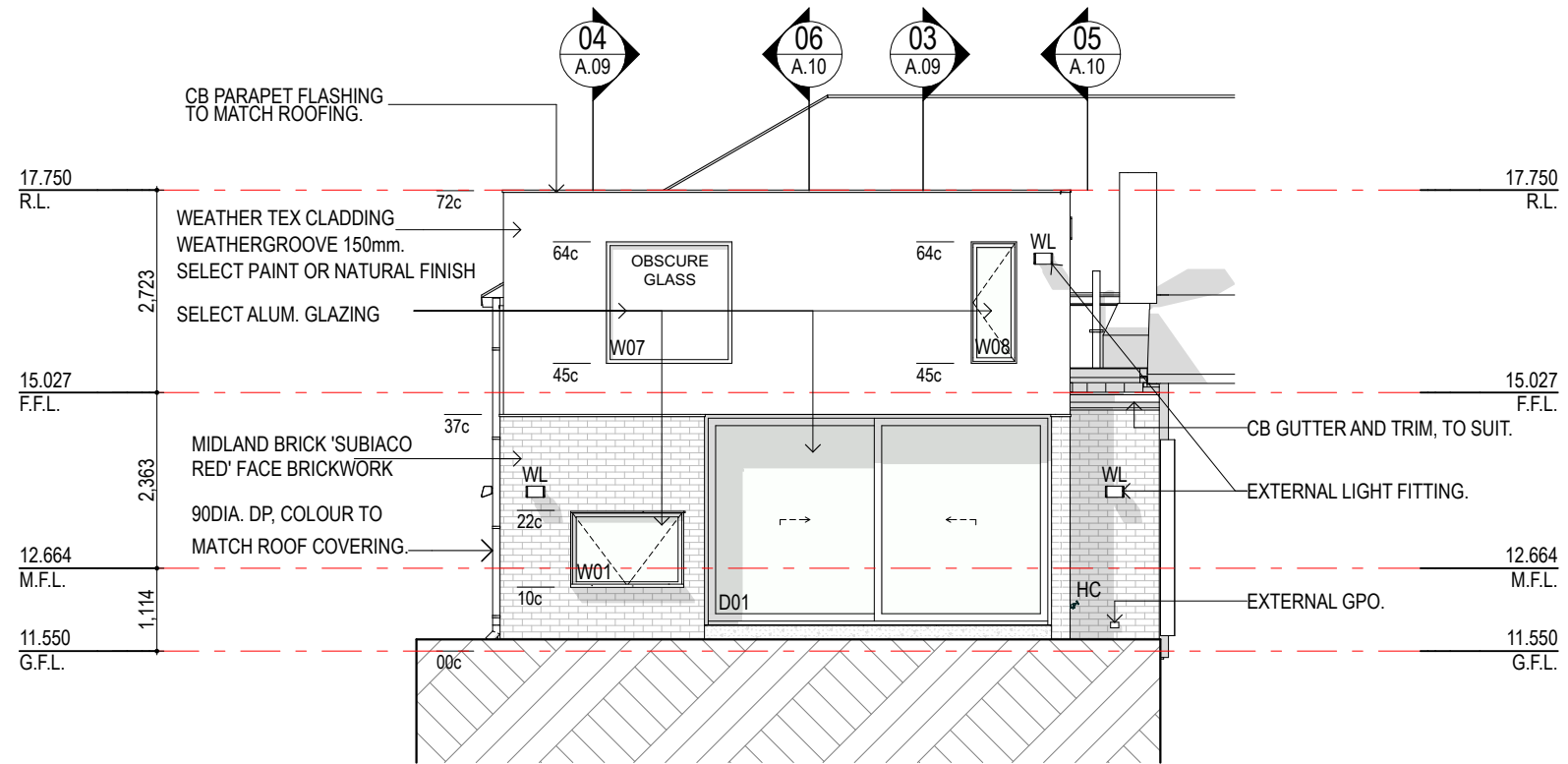


Project	ADDITION TO EXISTING HOUSE 26 MOIR ST, PERTH.		
Job No.	1021	Drawn	no
Scale	1:100 @ A3	Approved	
Status	Amended DA	Approved	
Drawing	FLOOR PLANS		
Drawing No.	Issue	Issue Date	
A.03		5/1/2023	

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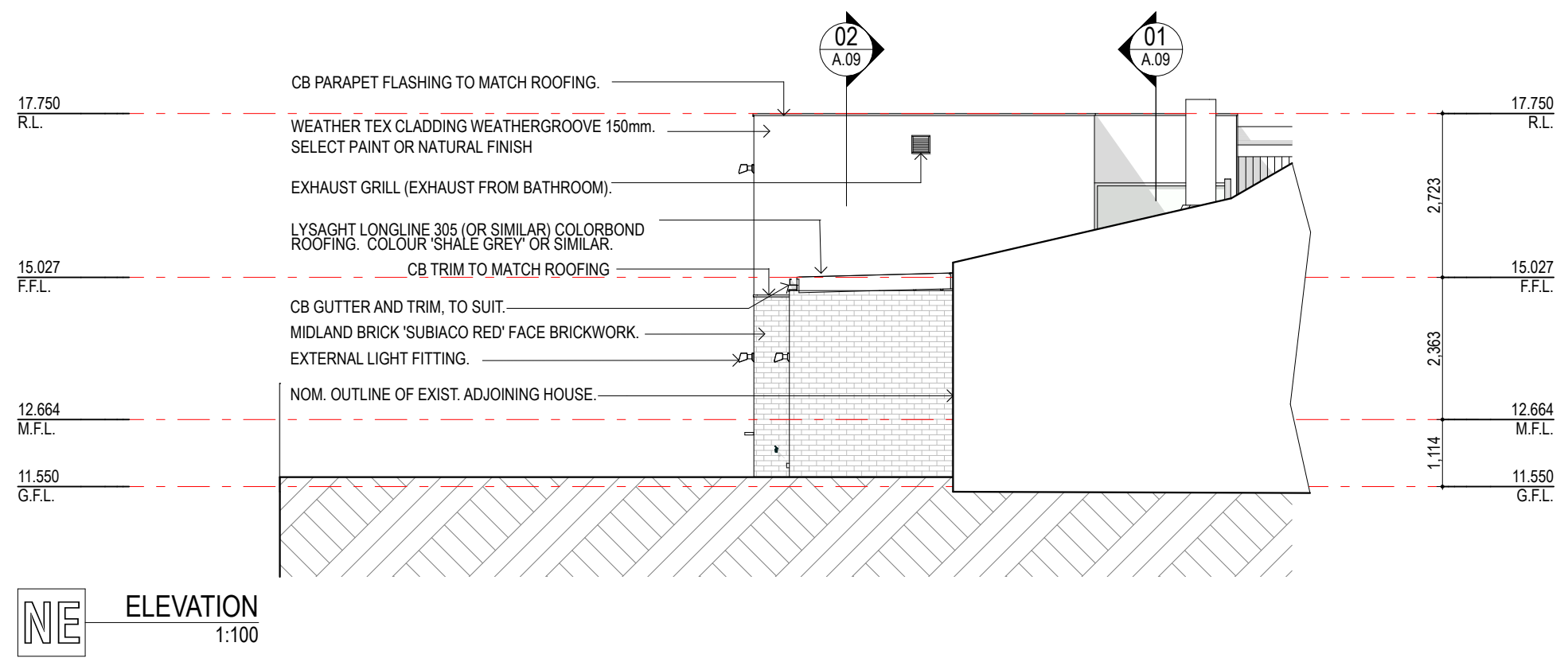
SW ELEVATION
1:100



SE ELEVATION
1:100

Project	ADDITION TO EXISTING HOUSE 26 MOIR ST, PERTH.		
Job No.	1021	Drawn	ro
Scale	1:100 @ A3	Approved	
Status	Amended DA	Approved	
Drawing	ELEVATIONS		
Drawing No.	Issue	Issue Date	
A.07		5/1/2023	

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Project ADDITION TO EXISTING HOUSE
26 MOIR ST, PERTH.

Job No. 1021

Scale 1:100 @ A3

Status **Amended DA**

Drawing ELEVATIONS

Drawing No. **A.08**

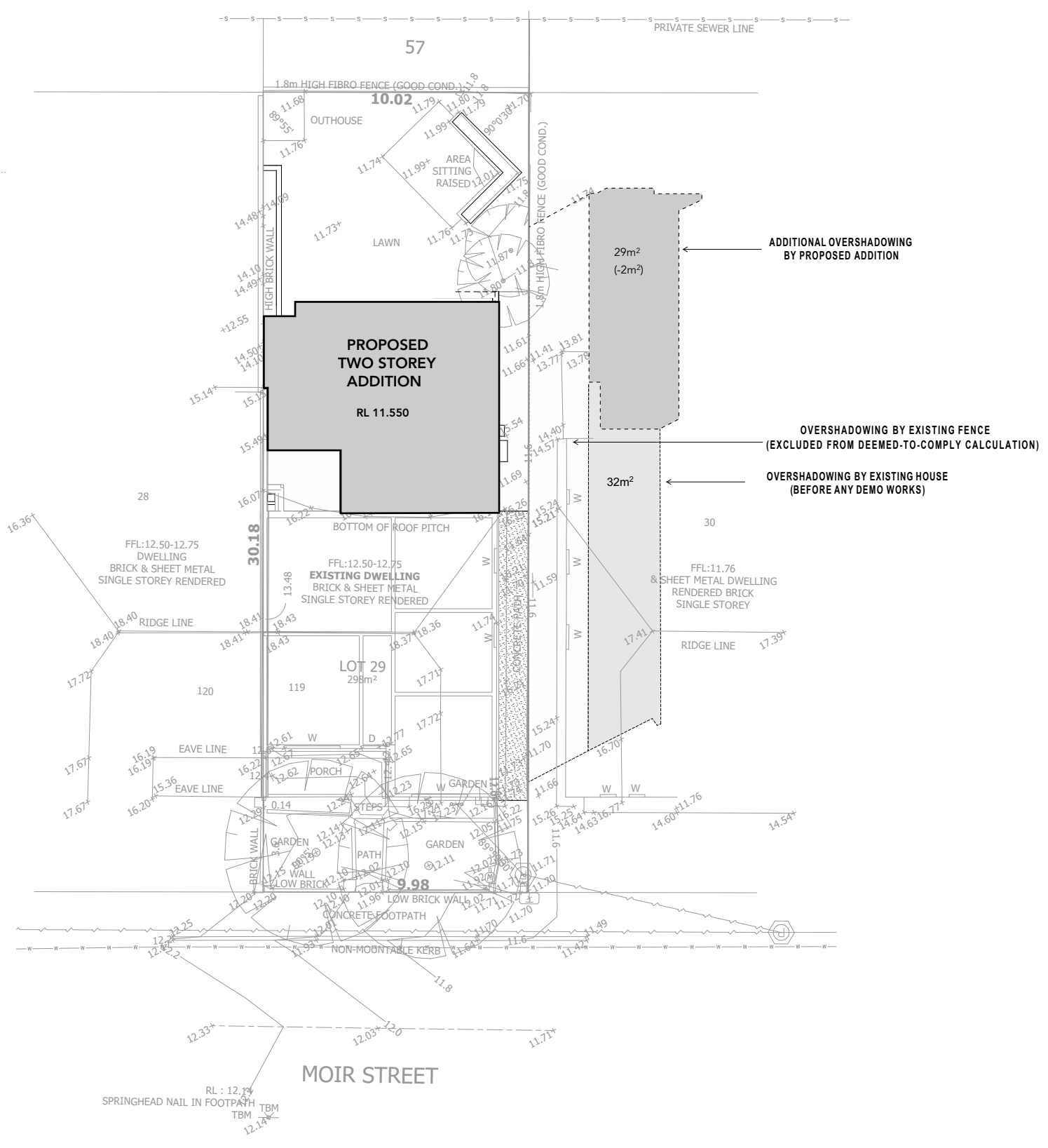
Issue

Issue Date **5/1/2023**

Drawn ro

Approved

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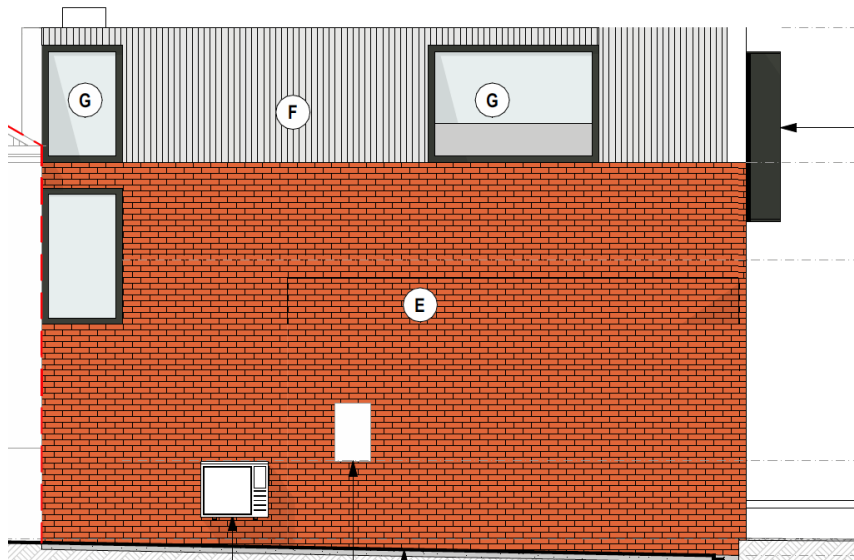


Project LOT 29 (#26) MOIR STREET PERTH
 Job No. 1021
 Scale 1:100 @ A3 Drawn ro
 Status **Amended DA**
 Drawing OVERSHADOWING
 Drawing No. Issue Issue Date
24/3/2023

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SIDE (SOUTH) ELEVATION

APPROVED DA



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17 March 2023

Roof

Corrugated Sheet Cladding.
Colour to Match Existing

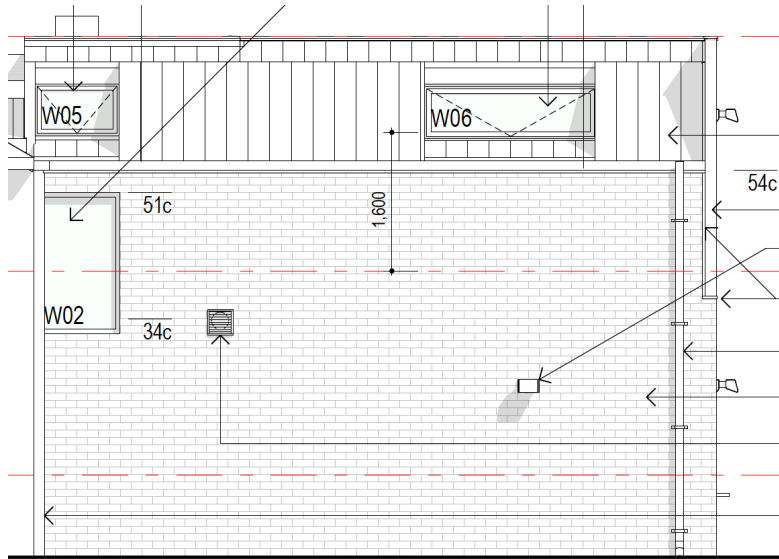
Wall

Facebrick.
Colour to Match Existing.

Window Frames

Aluminium.
Colour Mat Black

AMENDED DA



Roof

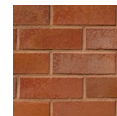
Lysaght Longline 305 (or similar) Colorbond.
Colour 'Shale Grey' (or similar)



Shale Grey™

Wall

Facebrick.
Midland Brick 'Subiaco Red'

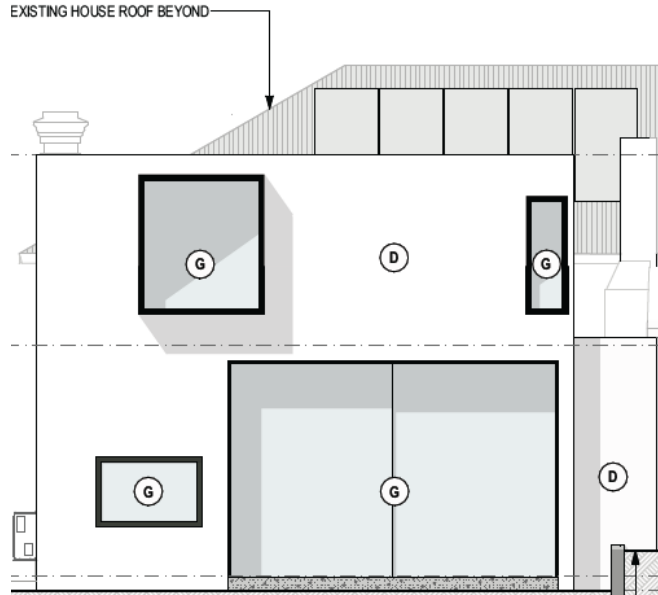


Window Frames

Aluminium.
Colour Mat Black

REAR ELEVATION

APPROVED DA

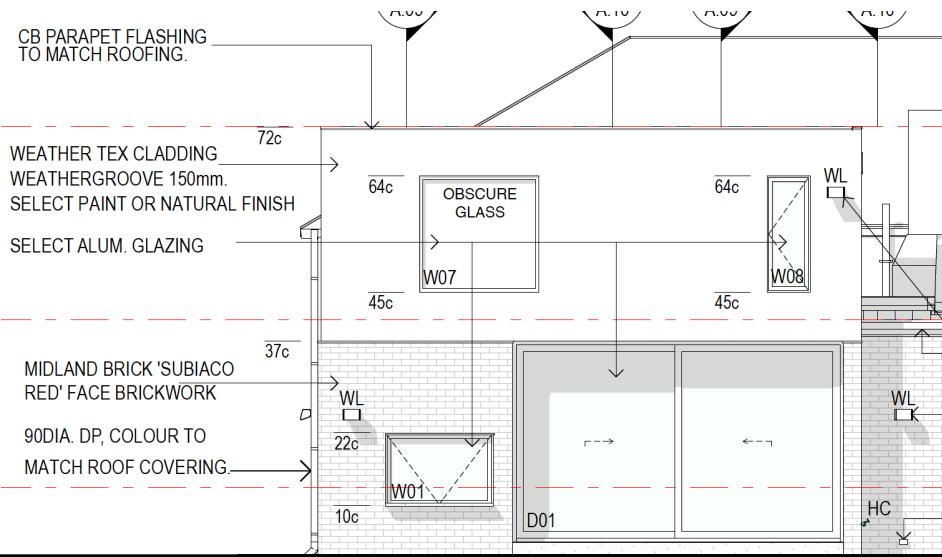


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Wall
Masonry Render.
Paint Finish.
Colour White

Window Frames
Aluminium.
Colour Mat Black

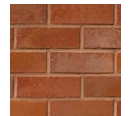
AMENDED DA



Wall
Upper
Weather Tex Cladding 'Weathergroove' 150mm
Paint or Natural Finish



Lower
Facebrick.
Midland Brick 'Subiaco Red'

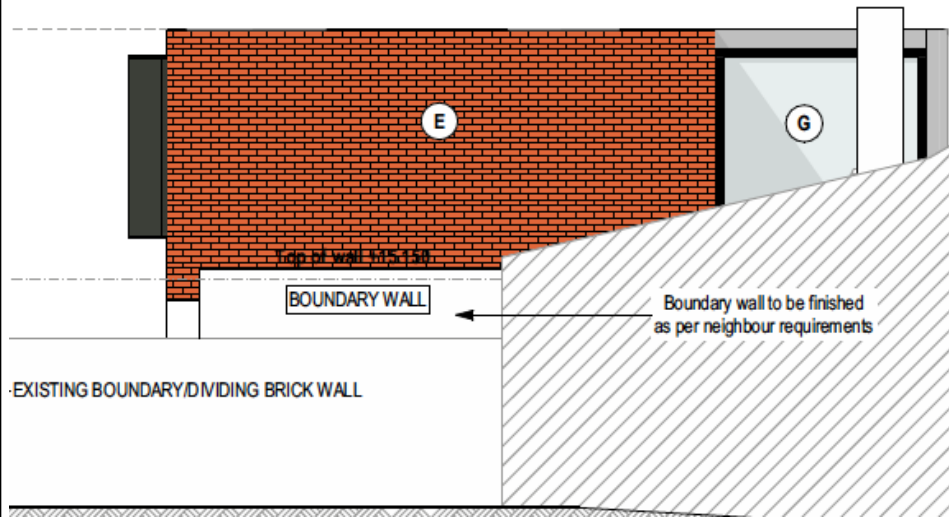


Window Frames
Aluminium.
Colour Mat Black

SIDE (NORTH) ELEVATION

APPROVED DA

CITY OF VINCENT
RECEIVED
17 March 2023



Wall

Upper

Facebrick.
Colour to Match Existing.

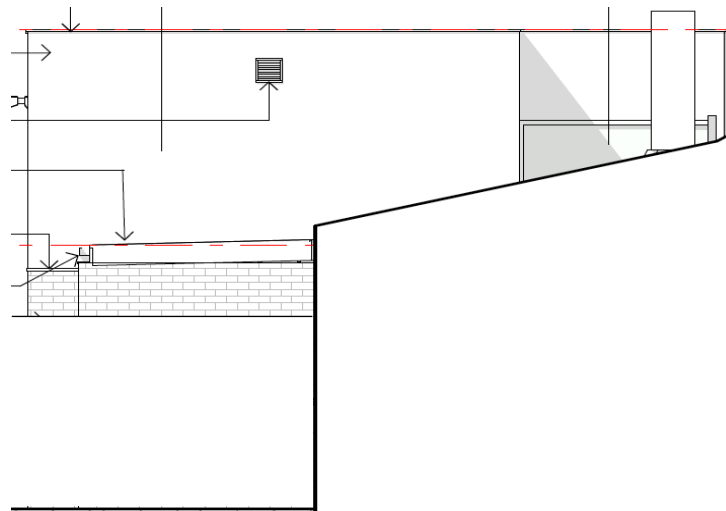
Lower

Boundary Wall as per neighbour requirements

Window Frames

Aluminium.
Colour Mat Black

AMENDED DA



Wall

Upper

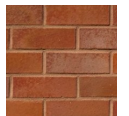
Weather Tex Cladding 'Weathergroove' 150mm
Paint or Natural Finish



Weathergroove

Lower

Boundary Wall (where visible to neighbour)
Midland Brick 'Subiaco Red'
Facebrick or Paint Finish as per neighbour requirements





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ARCHITECTURE**

30 March 2023

City of Vincent
mail@vincent.wa.gov.au

for the attention of Planning Services

Dear Sirs

**Amended development application
Minor design modifications to approved additions to existing single house
26 Moir Street, Perth
City of Vincent Reference 5.2020.452.1
Heritage comment**

The owners of the above property have commissioned an assessment of the impacts of the proposed changes to the approved development approval will have on the heritage significance of no. 26 Moir Street and the heritage precinct of which it forms part.

As the changes are minor, a full heritage impact statement is not being prepared in this instance however, the format of this assessment will follow the guidelines established by Heritage Council for preparing heritage impact statements.

Brookman and Moir Streets Precinct

The property forms part of the State Registered Brookman and Moir Streets Precinct in Perth. The Statement of Significance attributed to the place is as follows:

Brookman and Moir Streets Precinct, two streets in Perth comprising 58 semi-detached residences and one detached residence in two types of Federation Queen Anne style, constructed of limestone and brick with corrugated iron roofs in 1897-98, and a shop at the corner of Moir Street and Forbes Road built in 1940, has cultural heritage significance for the following reasons:

- *The historic precinct is an almost complete example of two late 19th century streets of modestly scaled residential buildings in the Federation Queen Anne style of architecture, built between 1897-98 in the wake of the rapid population expansion following the Western Australian gold boom;*
- *The historic precinct is a substantial section of the residential estate developed by the Colonial Finance Corporation in 1897-1898. This estate, comprising the historic precinct in Brookman and Moir Streets, and Baker's Terrace in Lake Street, was the largest estate of its type developed in Western Australia;*
- *The historic precinct is rare in Western Australia as two streets in which a single basic design was utilised for all the residences in a large estate, with the exception of Numbers 2 and 4 Brookman Street, which are grander variations of the same pattern used throughout the precinct, that is relatively intact;*



- The buildings contained within the precinct are representative of what was considered to be 'working class' rental accommodation from the late-19th and early-20th centuries;
- The one-way thoroughfares and modest lot sizes of the semi-detached dwellings contained within the precinct give it a particular character and sense of enclosure;
- The homogeneity of the modestly-scaled, semi-detached residential buildings creates a visually striking precinct in an inner city residential area; and
- The historic precinct was developed by the Colonial Finance Corporation who named Brookman and Moir Streets after two of the principal investors in the company who were prominent in Western Australia.

No. 26 Moir Street is located on the east side, at the northern end of Moir Street, close to the intersection with Robinson Street.

Amended details

The changes being discussed in this heritage impact assessment are:

Materials		
Location	Approved materials	Proposed materials
Rear elevation	Wall: Masonry render to entire wall Paint finish White	Upper section – Weather Tex cladding 'Weathergroove' 150mm Paint or natural finish
	Window frames – aluminium mat black	Lower section – face brick Midland 'Subiaco Red' No change
South elevation	Roof: corrugated sheet cladding to match existing	Lysaght Longline 305 colorbond in Shale Grey
	Wall: Face brick – colour to match existing	Face brick Midland Brick 'Subiaco Red'
North elevation	Window frames – aluminium mat black	No change
	Wall: Upper section – face brick to match existing brickwork Lower section – boundary wall as per neighbour requirements	Upper section – Weather Tex cladding 'Weathergroove' 150mm Paint or natural finish Lower section – boundary wall where visible to the neighbour –



		face brick Midland 'Subiaco Red' face brick or painted as per neighbour requirements
	Window frames – aluminium mat black	No change
Change in dimensions to addition		
	Approved length of addition: 8.280m	Proposed length of addition: 7.930m, a reduction of 0.350m
Change to window detail		
	Metal window shroud to rear elevation	Removal of shroud, replaced with obscured glazing to the opening

Assessment of heritage impact

The original heritage impact statement prepared in September 2021 concluded that the two storey addition to the rear of No. 26 Moir Street would not harm the heritage significance of the individual property nor the special qualities of the heritage precinct as a whole. The report concluded that the scale and material palette for the addition were in keeping with the scale of the original houses and would not detract from the homogeneity of the architectural form that defines Moir Street. The proposed changes to the approved development proposal seek emulate the above outcome and will not harm the heritage significance of the individual house or the heritage precinct as a whole.

City of Vincent Heritage Policy 7.6.1 Heritage Management – Development Guidelines for Heritage and Adjacent Properties establishes objectives for development of heritage places (or adjacent to heritage places) to ensure that the documented significance of such places is not harmed through inappropriate change and development.

The policy requires that alterations and additions to places of heritage significance should be respectful and be compatible with existing fabric. Any addition should ensure :

- that it does not alter the original façade or roof pitch;
- should be clearly distinguishable from the original building;
- be based on research that can identify the elements, detailing and finishes already used;
- does not obscure important elements of the original building;
- maintain existing views to the principal facades of the heritage place;
- are positioned and sized to ensure that the prominence of significant elements are retained;
- that an upper storey is sited and massed behind the main façade so that it is not visible from the street;
- openings in the principal façade of the addition should not be seen from the street or should be proportionally related to those in the heritage building.

The proposed changes to the approved addition are all in keeping with the above objectives of the heritage policy. The proposed changes are minimal and do not seek to increase the scale or massing of the addition.

The 350mm reduction in length is a positive change, reducing the overall size of the addition. The original dimensions of the addition were considered appropriate and would not over-dominate the single storey heritage house therefore, the proposed reduction in length will result in the same outcome and will not harm any streetscape views or result in a loss of original significant detail/fabric of the principal facades.



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The change in materials will also have minimal impact on the heritage significance of the place or heritage area.

The material palette of additions and alterations is to be informed by the original building. The original house is of red brick construction with rendered bands and corrugated iron roof. The proposed 'Subiaco Red' bricks complement the existing brickwork whilst creating a slight distinction allowing the new work to be clearly distinguishable from the existing, as per policy requirements.

The Lysaght Longline 305 cladding to the roof on the south side of the addition will create a slightly different aesthetic to the corrugated sheet cladding that was proposed in the original DA. The change in the material will add to the contemporary nature of the design of the addition and will result in an interpretation of the traditional 'brick and iron' house. The wider profile of the corrugations in the proposed cladding will not harm any of the documented values of the heritage area.

The change from brickwork to Weather Tex cladding Weathergroove 150mm will likewise have a minimal impact on the heritage significance of the house and heritage area. The proposed material presents with vertical pattern emulating timber planks and will create a lighter aesthetic to the upper sections of the addition than the original brickwork that was approved. The contemporary design of the addition calls for a palette of materials that is informed by the materials of the original building stock of the area whilst allowing for the introduction of materials that are not regarded as being traditional but complement the original materials palette. The proposed material complements the existing material palette of the original house and is considered an appropriate change.

The removal of the window shroud to the rear elevation will not have any impact on the heritage values of the area nor have a detrimental impact on the design of the addition.

Conclusion

In summary, the proposed changes to the approved development application will not harm the heritage significance of No. 26 Moir Street or the Brookman and Moir Streets Precinct.

As concluded in the original heritage impact statement, the proposed development is in keeping with the heritage policy adopted by City of Vincent. The proposed development also does not impact adversely on any of the value statements that form the adopted statement of significance associated with the entry of the precinct onto the State Register of Heritage Places.

The development retains a significant house in a significant streetscape and precinct. The addition to the rear of No. 26 Moir Street is of a complementary contemporary style that has taken some design influence from the original house in terms of material palette and colours. As previously concluded, the addition is of appropriate scale and massing and will not dominate the original house or have an adverse impact on the significance of the area. The slight reduction to the size of the approved addition reinforces this conclusion.

The architectural expression of the new addition is refined and simple and does not seek to mimic any of the essential design characteristics of the original house. Whereas the original part of the house is a reflection of traditional architectural styles demonstrating a simpler way of life around the turn of the century, the addition is a reflection of modern architectural standards and clearly demonstrates how the new can sit comfortably with the old. The proposed change in some of the materials contributes to this narrative and will not impact negatively on the heritage precinct.



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Yours faithfully

Gemma Dewar
Managing Director

Planning and Development Act 2005

City of Vincent

Notice of determination on application for development approval

Location: No. 26 Moir Street PERTH

Lot, Plan/Diagram: LOT: 119 D/P: 4576, LOT: 29 D/P: 4576

Vol. No: 1073

Folio No: 138

Application date: 4 November 2020

Received on: 4 November 2020

Serial No: 5.2020.452.1

Description of proposed development: Alterations and Additions to Single House

Plans dated: 22 October 2021

This application for development approval is subject to the following conditions:

1. Development Plans

This approval is for Alterations and Additions to a Single House as shown on the approved plans dated 22 October 2021. No other development forms part of this approval;

2. Boundary Walls

The surface finish of boundary walls facing an adjoining property shall be of a good and clean condition, prior to the occupation or use of the development, and thereafter maintained, to the satisfaction of the City. The finish of boundary walls is to be fully rendered or face brick, or material as otherwise approved, to the satisfaction of the City;

3. Visual Privacy

Prior to occupancy or use of the development, all privacy screening shown on the approved plans shall be installed and shall be visually impermeable and is to comply in all respects with the requirements of Clause 5.4.1 of the Residential Design Codes (Visual Privacy) deemed to comply provisions, to the satisfaction of the City;

4. Colours and Materials

Prior to first occupation or use of the development, the colours, materials and finishes of the development shall be in accordance with the details and annotations as indicated on the approved plans which forms part of this approval, and thereafter maintained, to the satisfaction of the City;

5. Landscaping

All landscaping works shall be undertaken in accordance with the approved plans dated 22 October 2021, prior to the occupancy or use of the development and maintained thereafter to the satisfaction of the City at the expense of the owners/occupiers;

6. Stormwater

Stormwater from all roofed and paved areas shall be collected and contained on site. Stormwater must not affect or be allowed to flow onto or into any other property or road reserve; and

7. Construction Management Plan

A Construction Management Plan shall be lodged with and approved by the City prior to the issue of a building permit. This plan is to detail how construction (including demolition and/or forward works) will be managed to minimise disruption in the area and shall include:

- The delivery of and delivery times for materials and equipment to the site;
- Parking arrangements for contractors and sub-contractors;
- Dilapidation report of nearby surrounding properties (including No. 24 and No. 28 Moir Street);
- Notification to affected landowners; and
- Construction times.

The approved management plan shall be complied with for the duration of the construction of the development.

ADVICE NOTES:

1. This is a development approval issued under the City of Vincent Local Planning Scheme No. 2 and the Metropolitan Region Scheme only. It is not a building permit or an approval to commence or carry out development under any other law. It is the responsibility of the applicant/owner to obtain any other necessary approvals and to commence and carry out development in accordance with all other laws.
2. If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of determination, the approval will lapse and be of no further effect.
3. Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.
4. If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005 Part 14. An application must be made within 28 days of the determination.
5. In relation to Advice Note 2 a further two years is added to the date by which the development shall be substantially commenced, pursuant to Schedule 4, Clause 4.2 of the Clause 78H Notice of Exemption from Planning Requirements During State of Emergency signed by the Minister for Planning on 8 April 2020.
6. This approval is not an authority to ignore any constraint to development on the land, which may exist through statute, regulation, contract or on title, such as an easement or restrictive covenant. It is the responsibility of the applicant and not the City to investigate any such constraints before commencing development. This approval will not necessarily have regard to any such constraint to development, regardless of whether or not it has been drawn to the City's attention.
7. The applicant is responsible for ensuring that all lot boundaries as shown on the approved plans are correct.
8. No verge trees shall be **REMOVED**. The verge trees shall be **RETAINED** and **PROTECTED** from any damage including unauthorized pruning.

9. The owners of the subject land shall obtain the consent of the owners of relevant adjoining properties before entering those properties in order to make good the boundary walls.
10. All external fixtures, such as television antennas (of a non-standard type), radio and other antennae, satellite dishes, solar panels, external hot water heaters, air conditioners, and the like, shall not be visible from the street(s), are designed integrally with the building, and be located so as not to be visually obtrusive to the satisfaction of the City.
11. With reference to Clause 5.4.1 C1.2, Visual Privacy requirements of the R codes states that *screening devices such as obscure glazing, timber screens, external blinds, window hoods and shutters are to be at least 1.6m in height, at least 75 percent obscure, permanently fixed, made of durable material and restrict view in the direction of the overlooking into any adjoining property.*
12. With reference to lot boundary walls, the applicant shall liaise with the adjoining property owner to discuss and agree on the finish of the boundary walls, prior to preparation and submission of the building permit.
13. No further consideration shall be given to the disposal of stormwater 'offsite' without the submission of a geotechnical report from a qualified consultant. Should approval to dispose of stormwater 'offsite' be subsequently provided, detailed design drainage plans and associated calculations for the proposed stormwater disposal shall be lodged together with the building permit application working drawings.
14. A Demolition Permit shall be obtained from the City prior to commencement of any demolition works on the site.
15. An Infrastructure Protection Bond together with a non-refundable inspection fee shall be lodged with the City by the applicant, prior to commencement of all building/development works, and shall be held until all building/development works have been completed and any disturbance of, or damage to the City's infrastructure, including verge trees, has been repaired/reinstated to the satisfaction of the City. An application for the refund of the bond must be made in writing. This bond is non-transferable.
16. The movement of all path users, with or without disabilities, within the road reserve, shall not be impeded in any way during the course of the building works. This area shall be maintained in a safe and trafficable condition and a continuous path of travel (minimum width 1.5 metres) shall be maintained for all users at all times during construction works. If the safety of the path is compromised resulting from either construction damage or as a result of a temporary obstruction appropriate warning signs (in accordance with AS1742.3) shall be erected. Should a continuous path not be able to be maintained, an 'approved' temporary pedestrian facility suitable for all path users shall be put in place. If there is a request to erect scaffolding, site fencing etc. or if building materials are required to be stored within the road reserve, once a formal request has been received, the matter will be assessed by the City and if considered appropriate a permit shall be issued by the City. No permit will be issued if the proposed encroachment into the road reserve is deemed to be inappropriate.

Date of determination: 14 December 2021

Signed:

Mitchell Hoad

A/COORDINATOR PLANNING SERVICES

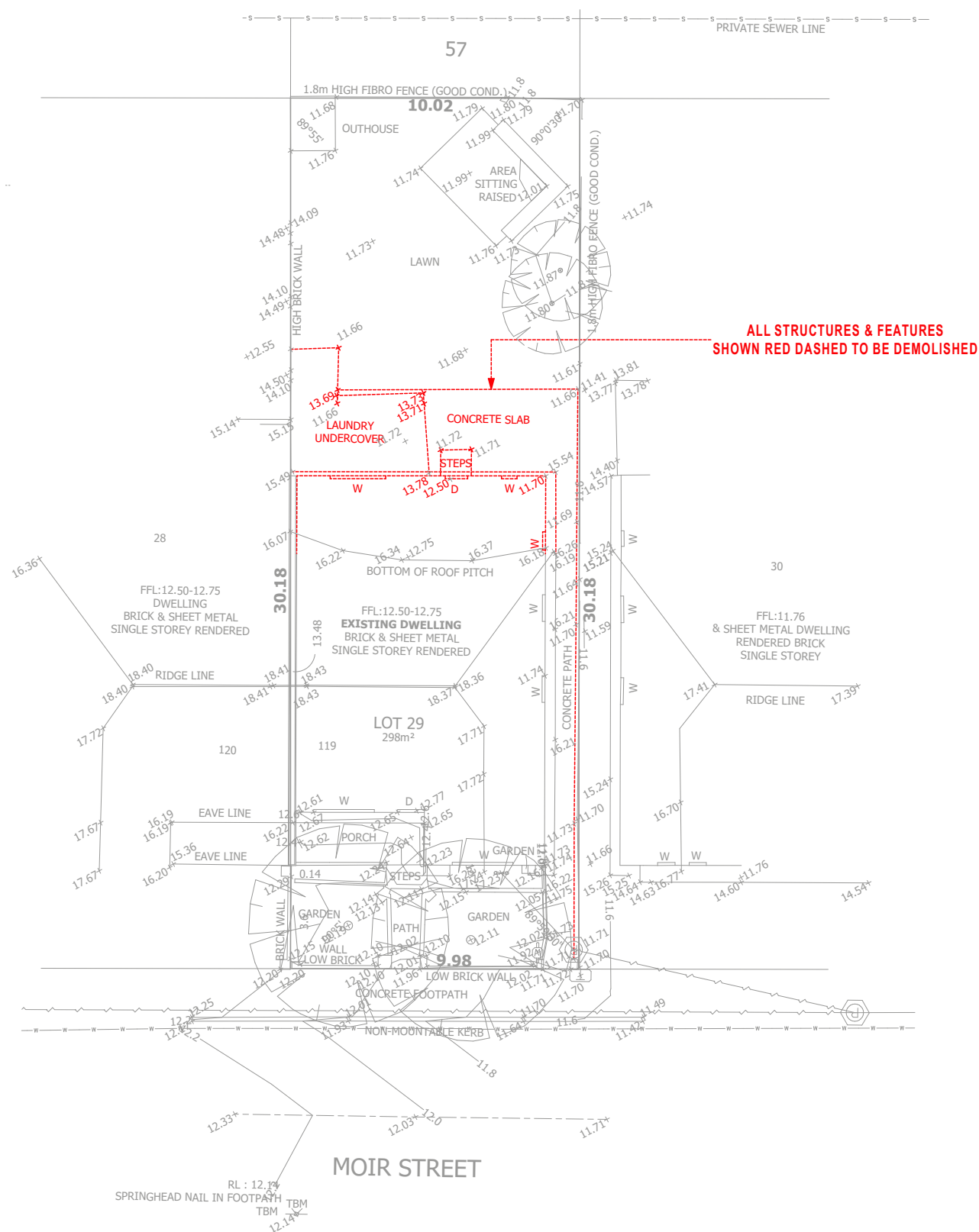
for and on behalf of the City of Vincent

Final Plans

14 December 2021

APPROVED
Refer to Decision Notice

A/Coordinator Planning Services



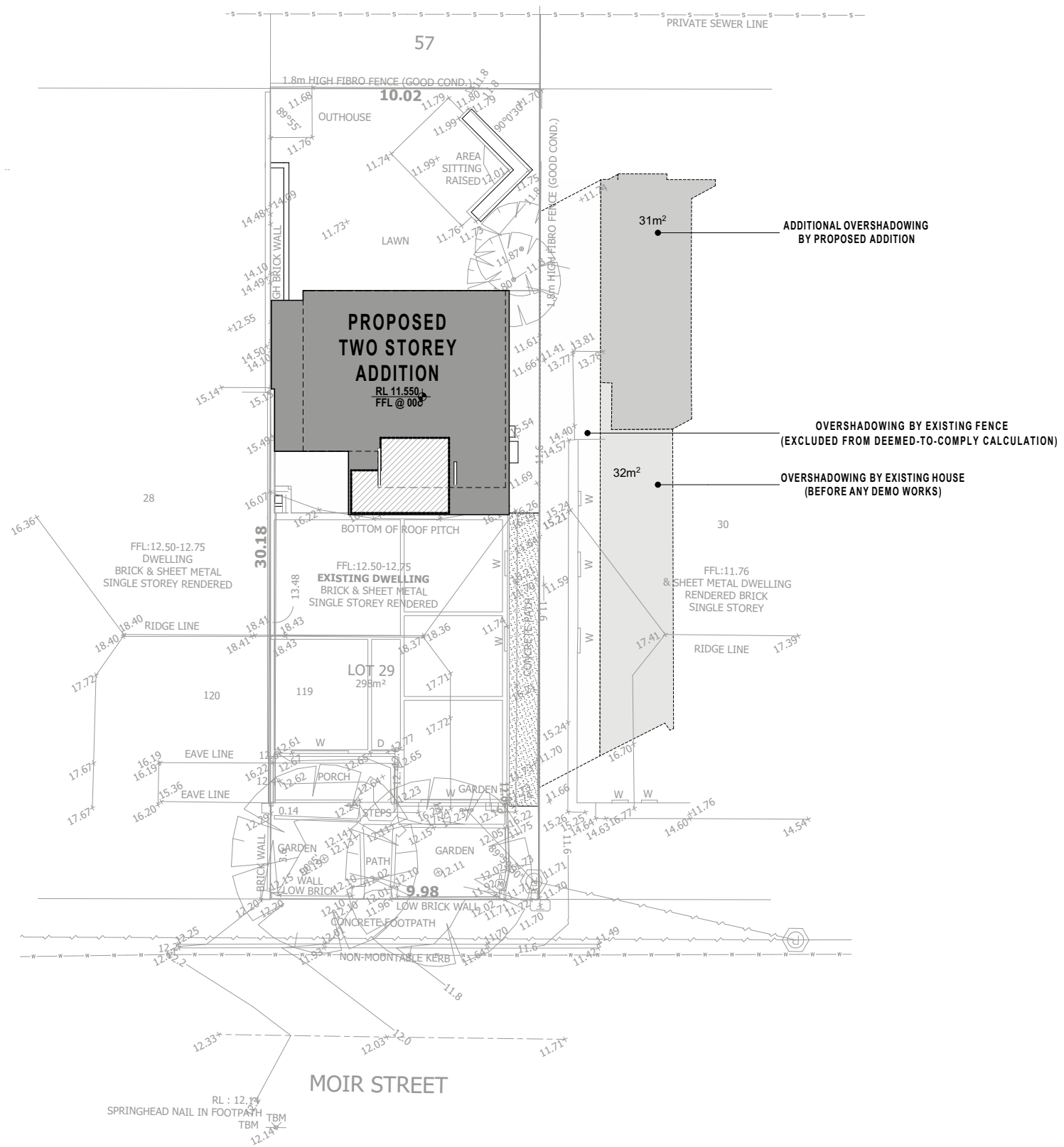
Project LOT 29 (#26) MOIR STREET PERTH
Job No. 1021
Scale 1:100 @ A3 Drawn KY
Status **Development Application** Approved BM
Drawing DEMO SITE PLAN
Drawing No. Issue Issue Date
A.01 A 21/10/2021

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mountford architects

Perth 123 Aberdeen St, Northbridge, WA 6003
Sydney 2/235 Commonwealth St, Surry Hills, NSW 2010
p (08) 9227 8664 e info@mountfordarchitects.com.au www.mountfordarchitects.com.au

Final Plans



Project LOT 29 (#26) MOIR STREET PERTH
Job No. 1021
Scale 1:100 @ A3 Drawn KY
Status **Development Application** Approved BM
Drawing PROPOSED SITE PLAN
Drawing No. Issue Issue Date
A.02 A 21/10/2021

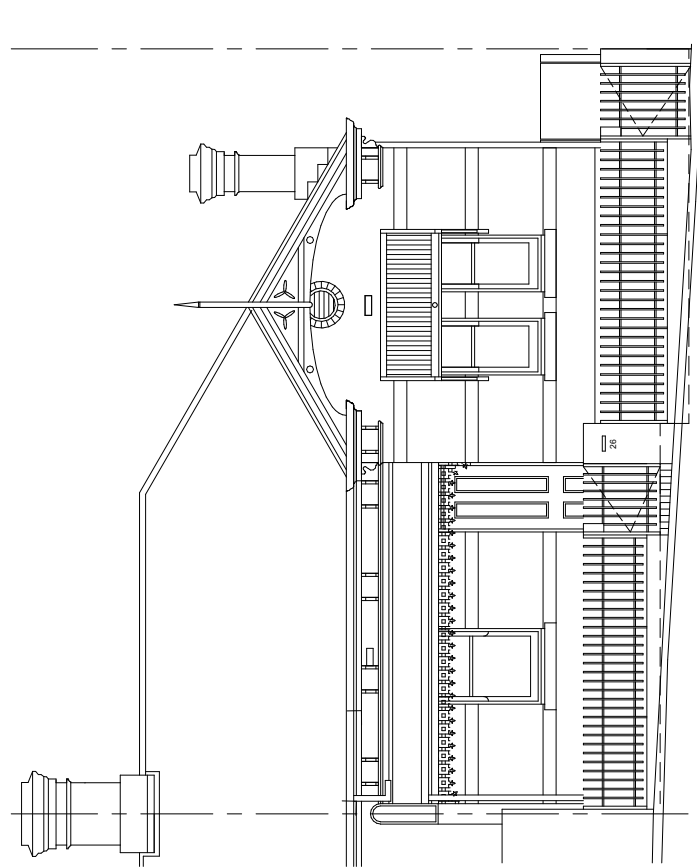
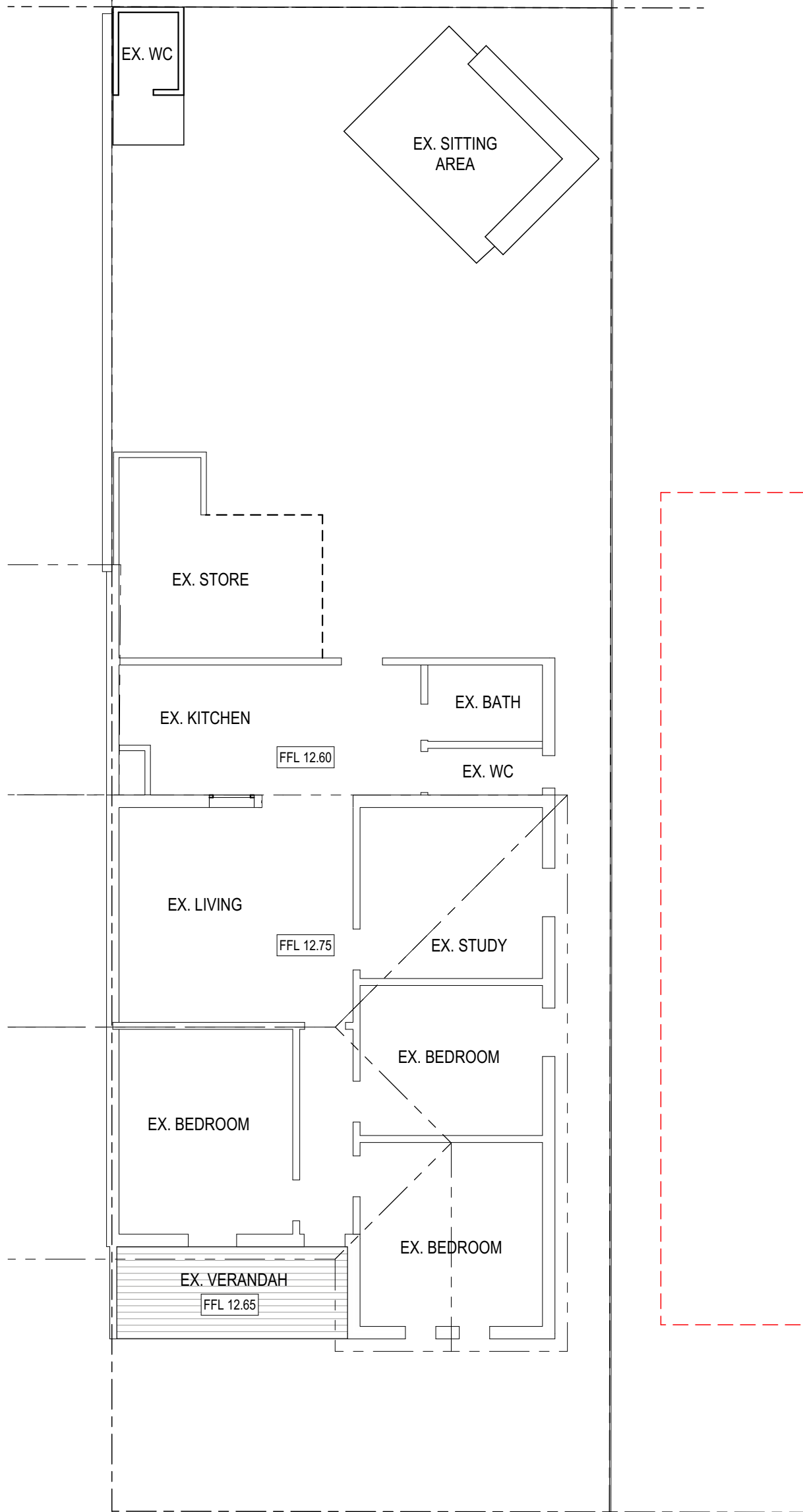
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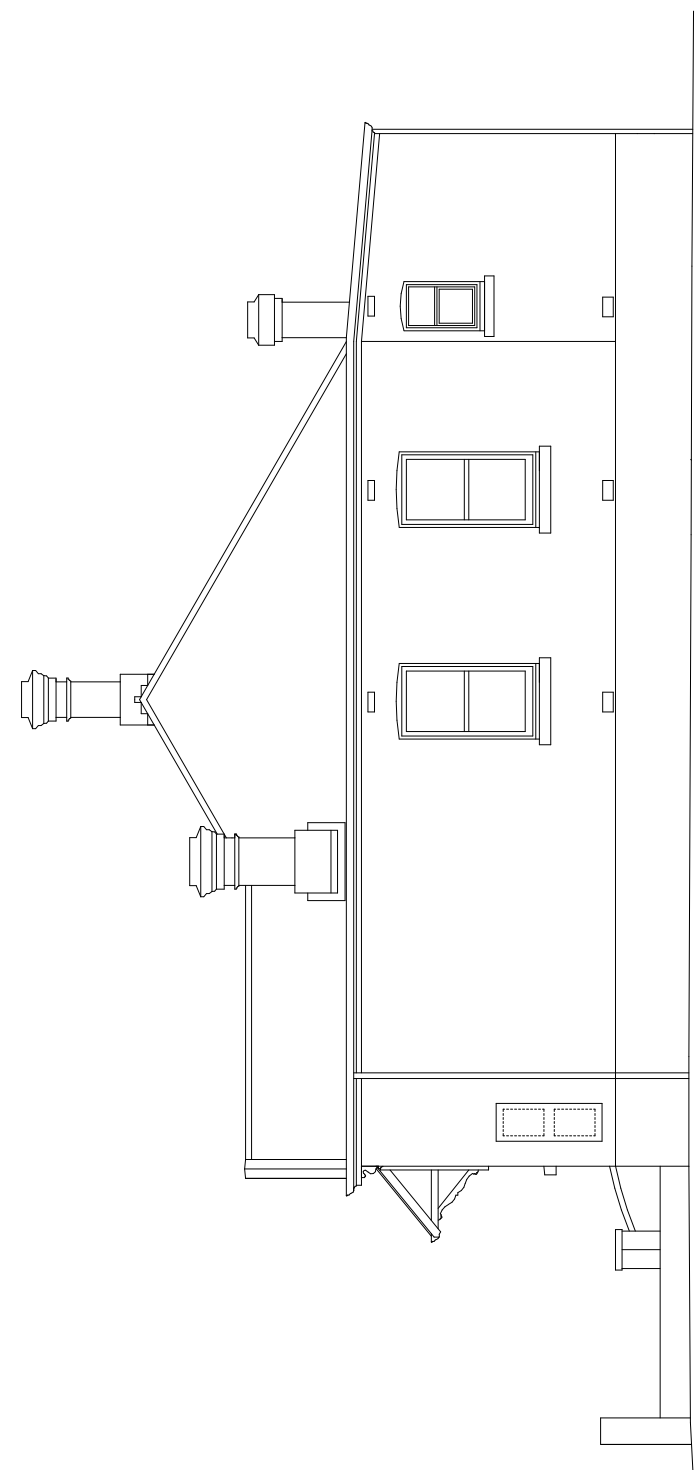
Perth 123 Aberdeen St, Northbridge, WA 6003
Sydney 21235 Commonwealth St, Surry Hills, NSW 2010
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EXISTING SOUTH ELEVATION
SCALE 1:100



EXISTING WEST ELEVATION
SCALE 1:100

CITY OF VINCENT
DA No. 5.2020.452.1

14 December 2021

APPROVED
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A/Coordinator Planning Services

Project **LOT 29 (#26) MOIR STREET PERTH**
 Job No. 1021
 Scale 1:100 @ A3 Drawn KY
 Status **Development Application** Approved BM
 Drawing EXISTING

Drawing No.	Issue	Issue Date
A.03	A	21/10/2021

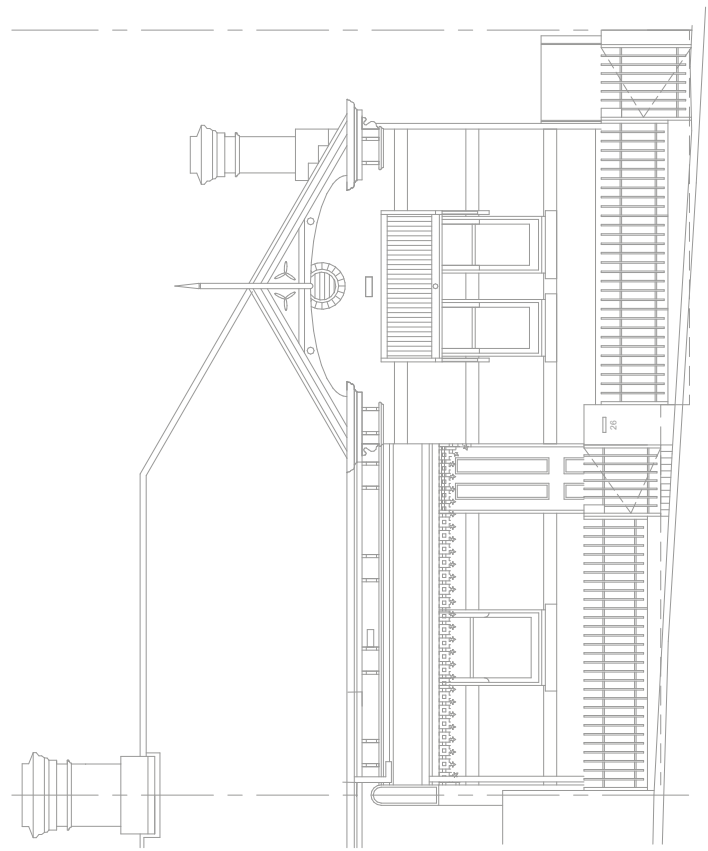
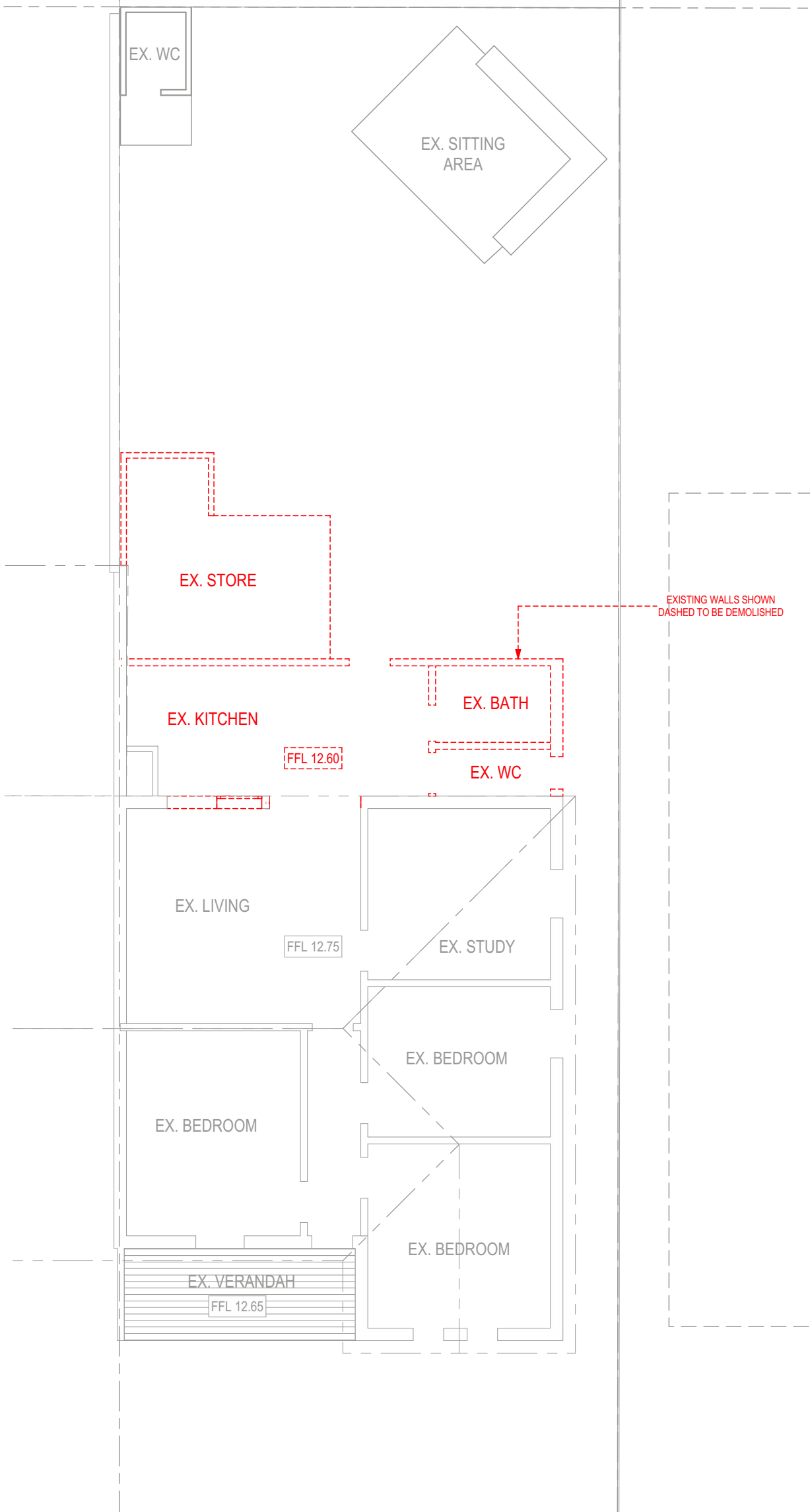
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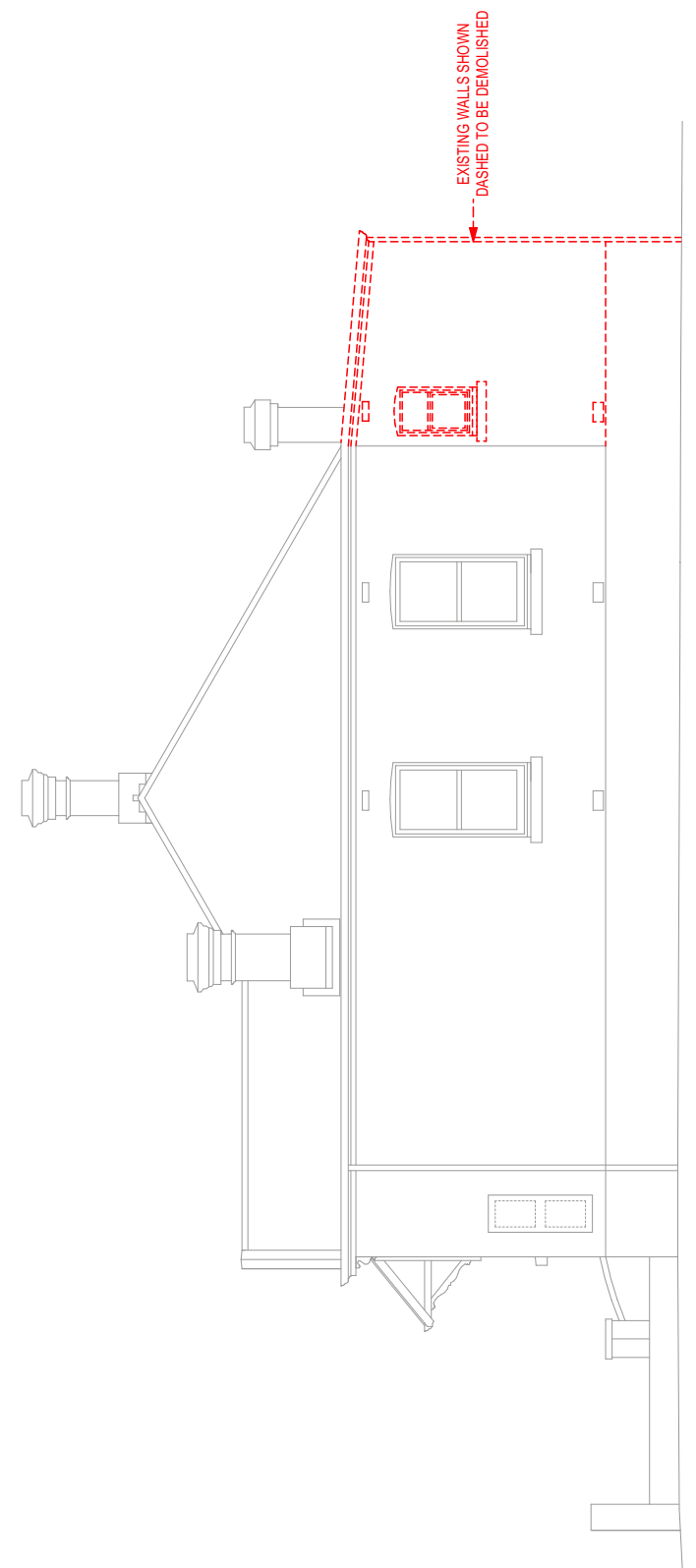
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EXISTING SOUTH ELEVATION
SCALE 1:100



EXISTING WEST ELEVATION
SCALE 1:100

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Project LOT 29 (#26) MOIR STREET PERTH
Job No. 1021
Scale 1:100 @ A3 Drawn KY
Status **Development Application** Approved BM
Drawing DEMO PLAN
Drawing No. Issue Issue Date
A.04 A 21/10/2021

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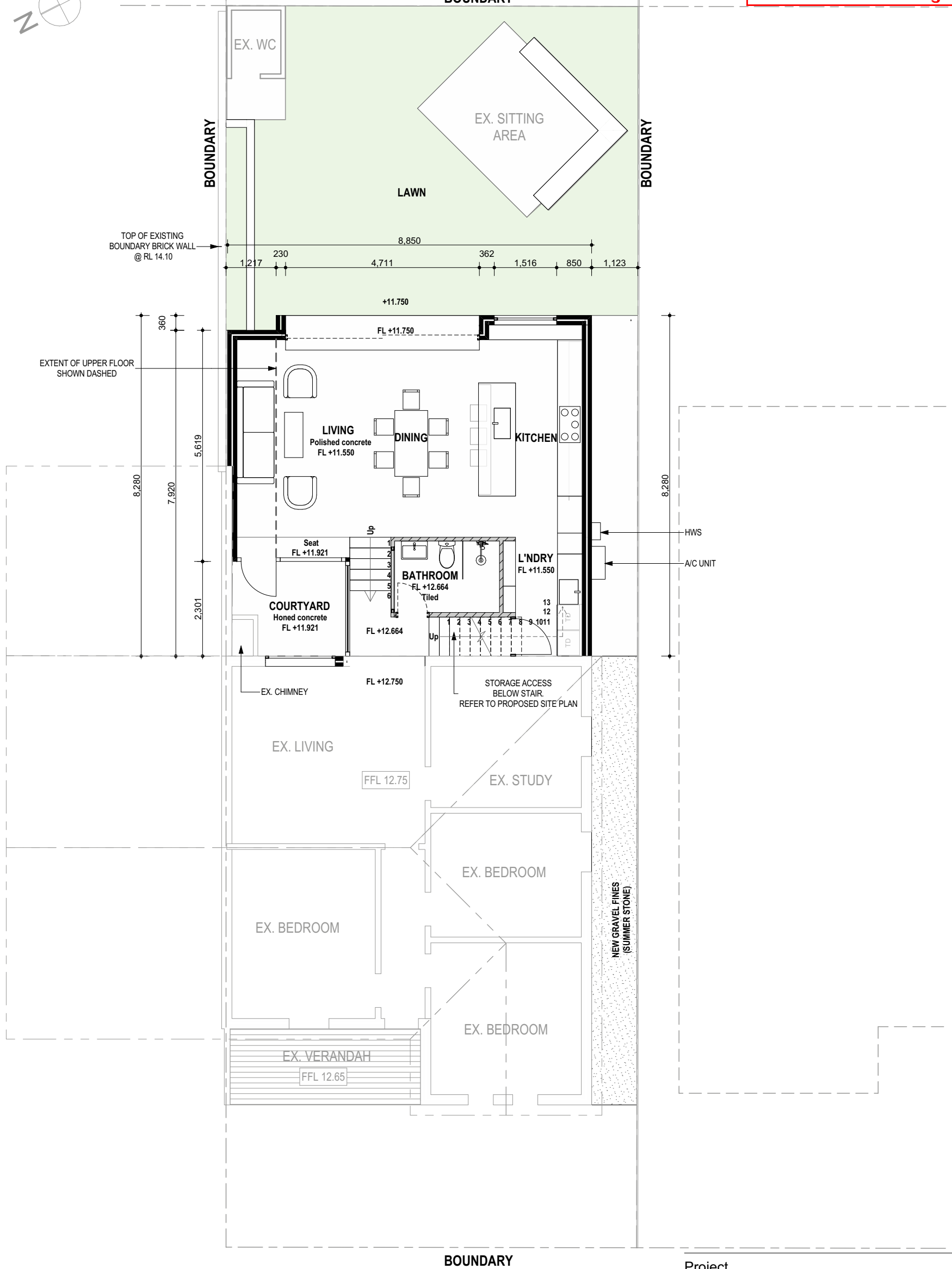
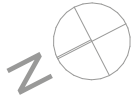
AREAS:

STORE BELOW BATHR'M	= 9.43m ²
GROUND FLOOR	= 66.25m ²
UPPER FLOOR	= 51.42m ²
TOTAL	= 127.1m²

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 Job No. 1021
 Scale 1:100 @ A3 Drawn KY
 Status **Development Application** Approved BM
 Drawing PROPOSED GF PLAN
 Drawing No. **A.05** Issue **A** Issue Date **21/10/2021**

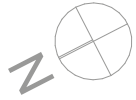
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AREAS:

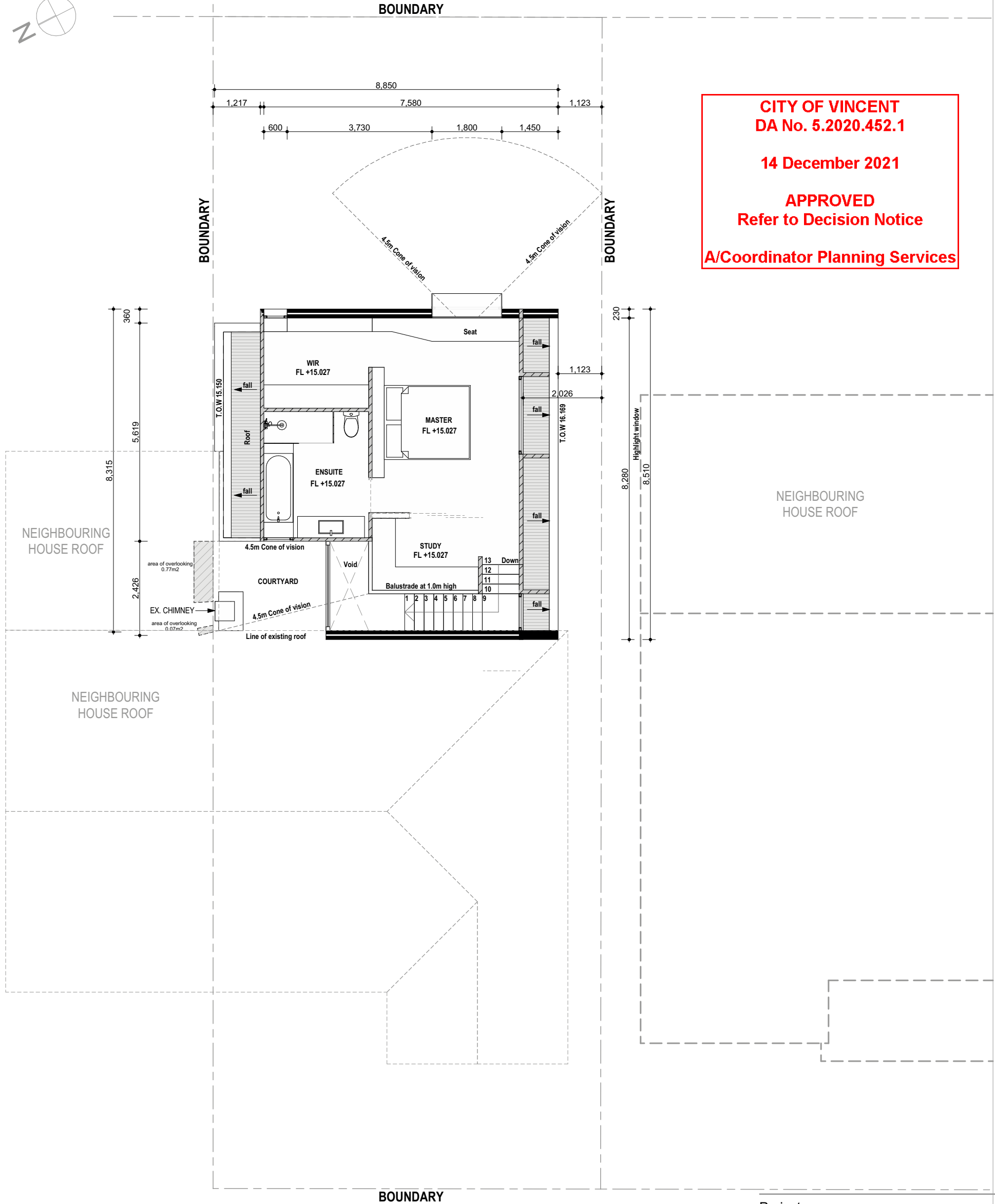
STORE BELOW BATHR'M = 9.43m²
 GROUND FLOOR = 66.25m²
 UPPER FLOOR = 51.42m²
TOTAL = 127.1m²



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Project LOT 29 (#26) MOIR STREET PERTH
 Job No. 1021
 Scale 1:100 @ A3 Drawn KY
 Status **Development Application** Approved BM
 Drawing PROPOSED UF PLAN
 Drawing No. **A.06** Issue **A** Issue Date **21/10/2021**

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FINISHES SCHEDULE:

- (A) - EXISTING 1c BRICKWORK
COLOUR: HERITAGE RED
- (B) - EXISTING CORRUGATED ROOF
COLOUR: LIGHT GREY
- (C) - EXISTING PAINTED RENDER
COLOUR: WHITE
- (D) - PROPOSED PAINTED RENDER
COLOUR: WHITE
- (E) - PROPOSED BRICKWORK
COLOUR: HERITAGE RED TO MATCH EXISTING
- (F) - CORRUGATED SHEET CLADDING
COLOUR: TO MATCH EXISTING CORRUGATED ROOF SHEET
- (G) - ALUMINIUM WINDOW FRAMES & DOORS
COLOUR: MATTE BLACK
- (H) - GUTTERS, DOWNPIPES & FLASHINGS
COLOUR: OFF WHITE

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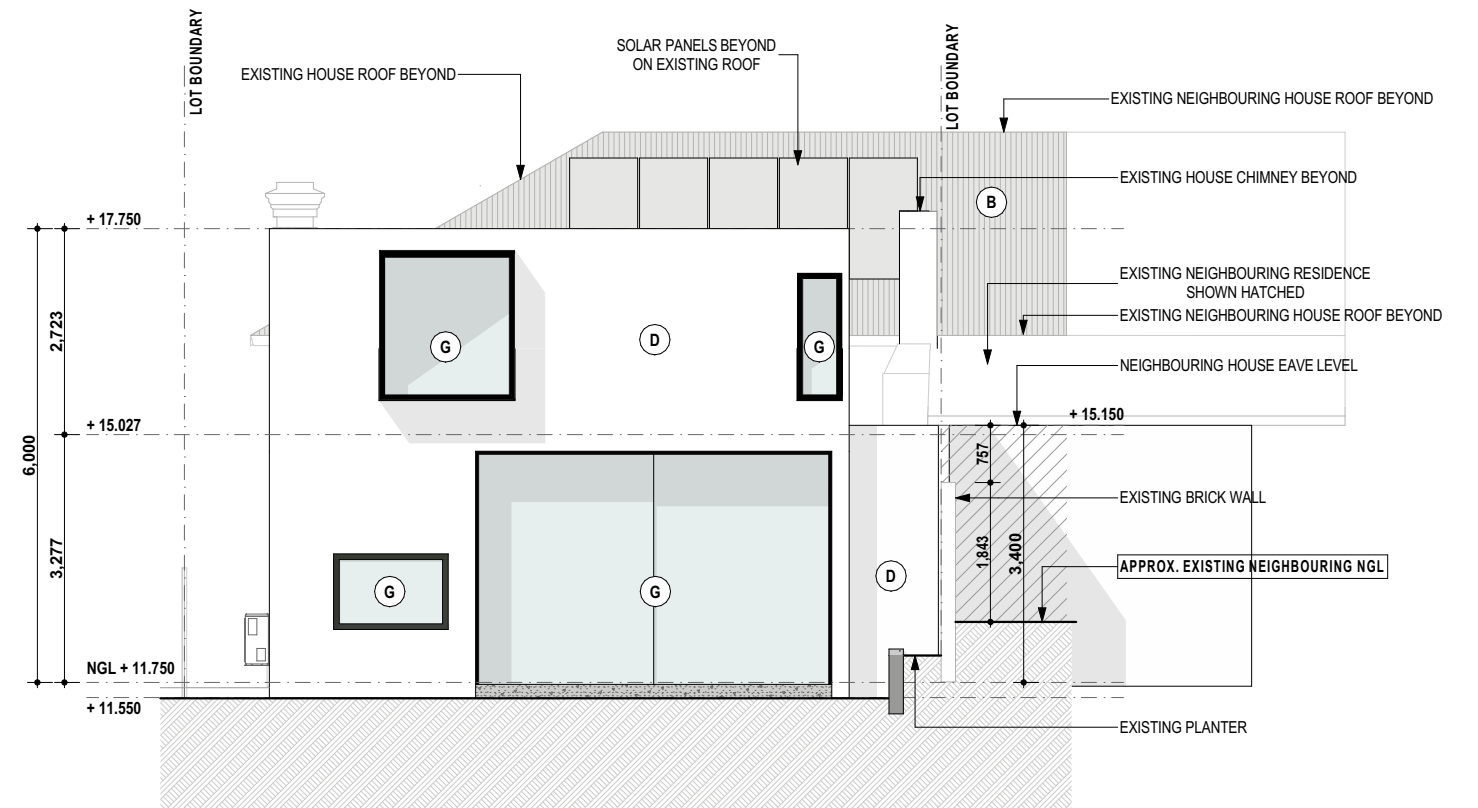
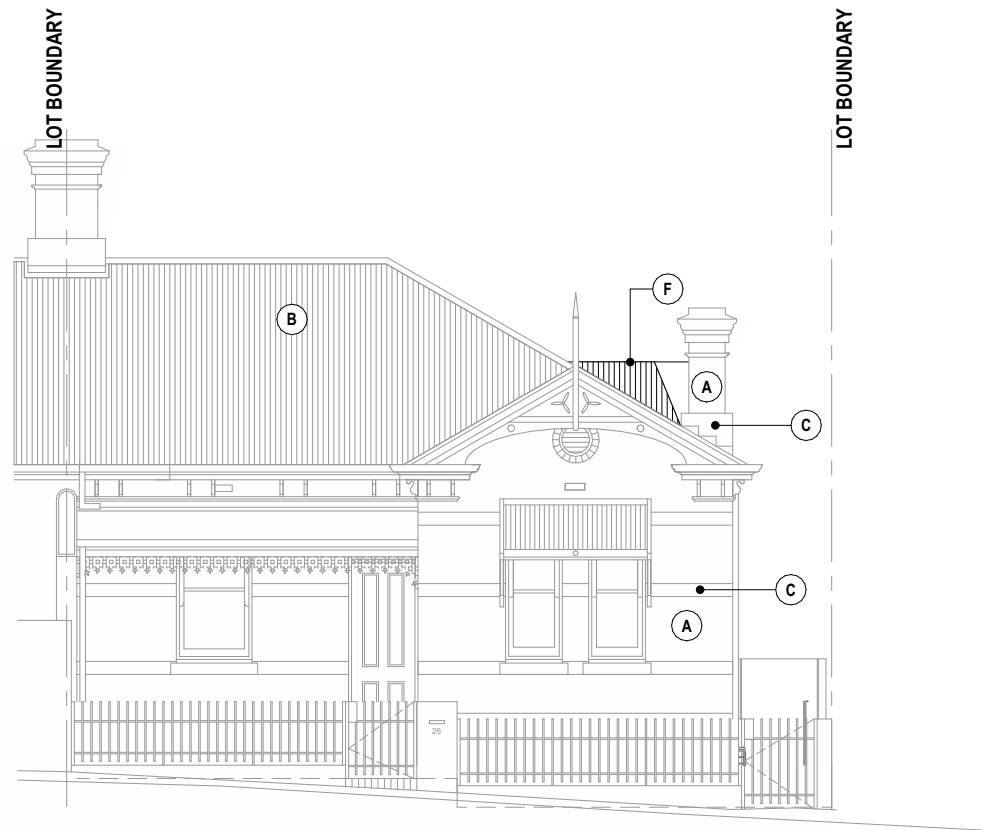
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EAST ELEVATION 1:100

Project LOT 29 (#26) MOIR STREET PERTH
 Job No. J20-03
 Scale as shown @ A3 Drawn
 Status **Design Development** Approved BM
 Drawing ELEVATIONS
 Drawing No. Issue Issue Date
A.07 **A** **21/10/2021**

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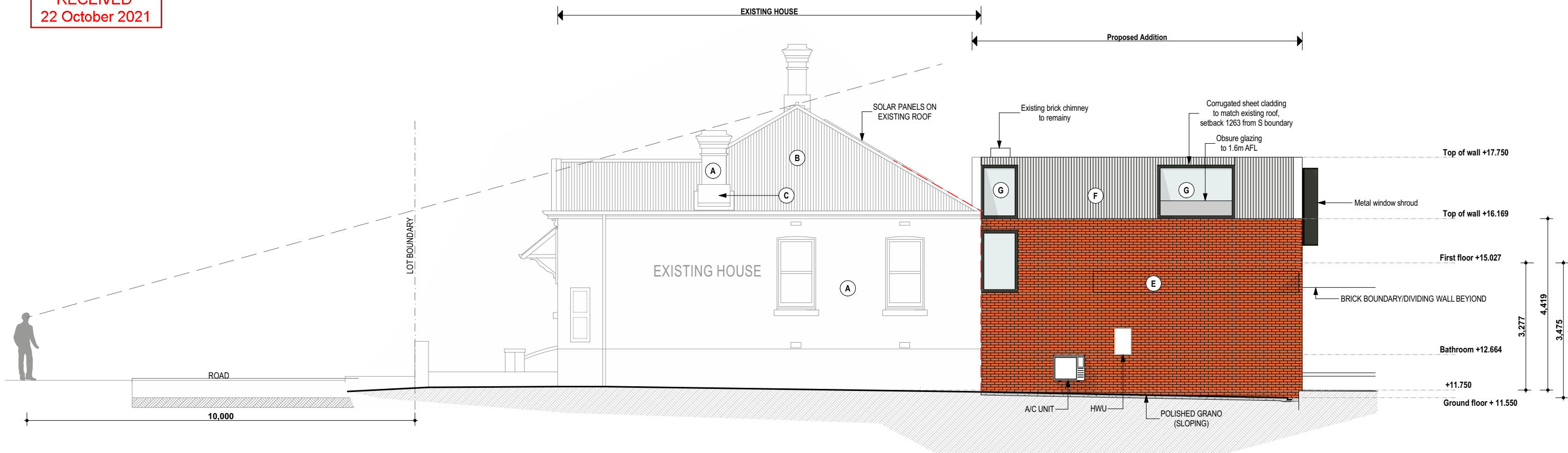
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FINISHES SCHEDULE:

- (A) - EXISTING 1c BRICKWORK
COLOUR: HERITAGE RED
- (B) - EXISTING CORRUGATED ROOF
COLOUR: LIGHT GREY
- (C) - EXISTING PAINTED RENDER
COLOUR: WHITE
- (D) - PROPOSED PAINTED RENDER
COLOUR: WHITE
- (E) - PROPOSED BRICKWORK
COLOUR: HERITAGE RED TO MATCH EXISTING
- (F) - CORRUGATED SHEET CLADDING
COLOUR: TO MATCH EXISTING CORRUGATED ROOF SHEET
- (G) - ALUMINIUM WINDOW FRAMES & DOORS
COLOUR: MATTE BLACK
- (H) - GUTTERS, DOWNPIPES & FLASHINGS
COLOUR: OFF WHITE

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SOUTH ELEVATION 1:100

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 Scale as shown @ A3 Drawn
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 Drawing No. **A.08** Issue **A** Issue Date **21/10/2021**

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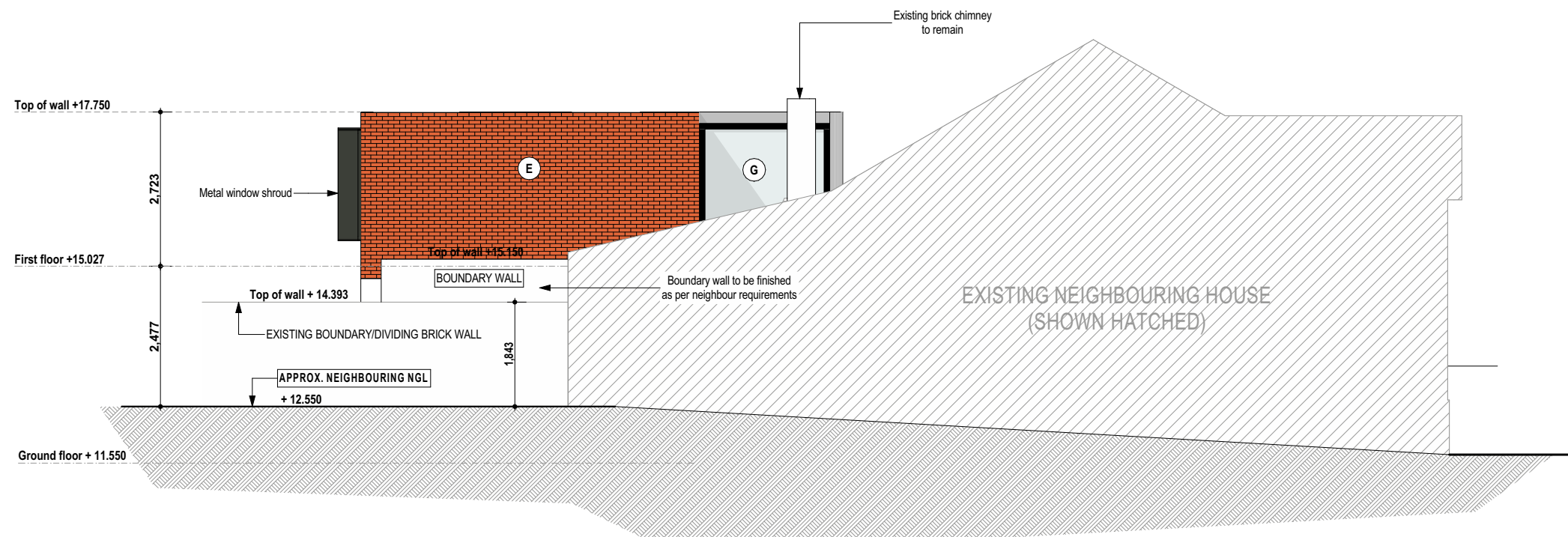
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FINISHES SCHEDULE:

- (A) - EXISTING 1c BRICKWORK
COLOUR: HERITAGE RED
- (B) - EXISTING CORRUGATED ROOF
COLOUR: LIGHT GREY
- (C) - EXISTING PAINTED RENDER
COLOUR: WHITE
- (D) - PROPOSED PAINTED RENDER
COLOUR: WHITE
- (E) - PROPOSED BRICKWORK
COLOUR: HERITAGE RED TO MATCH EXISTING
- (F) - CORRUGATED SHEET CLADDING
COLOUR: TO MATCH EXISTING CORRUGATED ROOF SHEET
- (G) - ALUMINIUM WINDOW FRAMES & DOORS
COLOUR: MATTE BLACK
- (H) - GUTTERS, DOWNPIPES & FLASHINGS
COLOUR: OFF WHITE

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NORTH ELEVATION 1:100

Project LOT 29 (#26) MOIR STREET PERTH
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 Scale as shown @ A3 Drawn
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 Drawing ELEVATIONS
 Drawing No. Issue Issue Date
A.09 A 21/10/2021

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Job No. J20-03
Scale as shown @ A3 Drawn
Status **Design Development** Approved BM
Drawing PERSPECTIVE
Drawing No. Issue Issue Date
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LEGEND

Trees & Shrubs Retained

1. Existing Frangipani (3)
2. Existing Jasmine in Raised Planter (3)
3. Existing Viburnum Hedge (16)
4. Existing Magnolia Tree (1)
5. Existing Crepe Myrtle Tree (1)
6. Existing Grass Tree (1)
7. Existing Lemon Tree (1)
8. Existing Wisteria (1)

Trees Removed

9. Pencil Pines (2)

Lawns

Existing lawn area at front to be retained.
Rear lawn to be reinstated following works

Irrigation

All areas are presently irrigated.
Reticulation to be retained and made good after completion of works.

LANDSCAPE PLAN

PROPOSED ADDITIONS TO SINGLE HOUSE
26 MOIR STREET
PERTH

